



## Union Square Partners

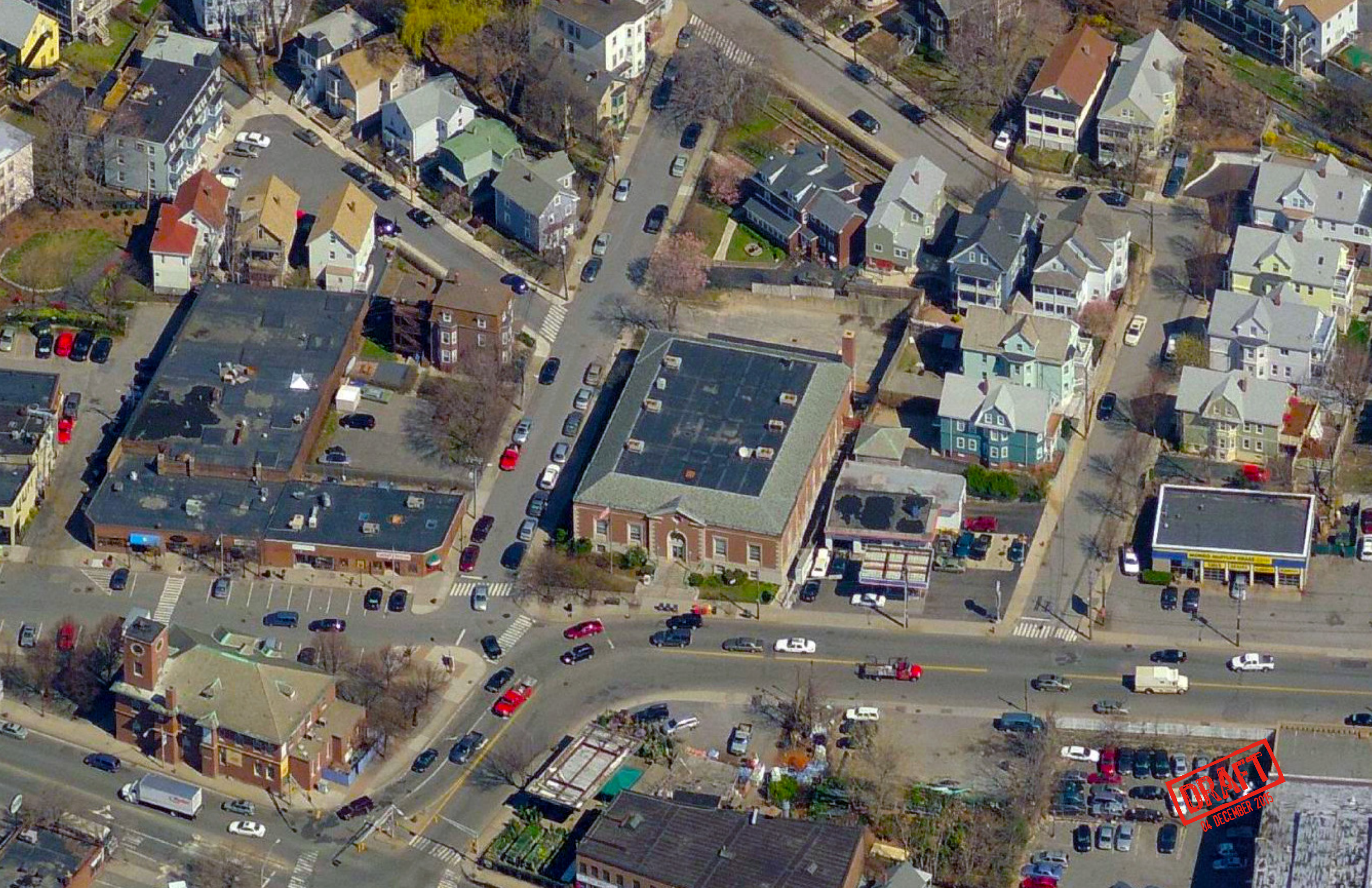
*Union Square Former Post Office Renovation*

**DRAFT**  
04 DECEMBER 2015

BAKER DESIGN GROUP

ARCHITECTURE  
+ INTERIOR DESIGN  
+ INDUSTRIAL DESIGN  
+ PLANNING





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**Structural Narrative**  
**MEP/FP Design Narrative**











View Looking North  
**PROSPECT HILL MONUMENT**



View Looking West  
**"WELCOME TO SOMERVILLE"**



View Looking South East  
**BOSTON**



Somerville  
Post Office

D-7

D-5

D-1

D-6

D-2

D-4

D-3

View Looking South East  
**BOSTON**

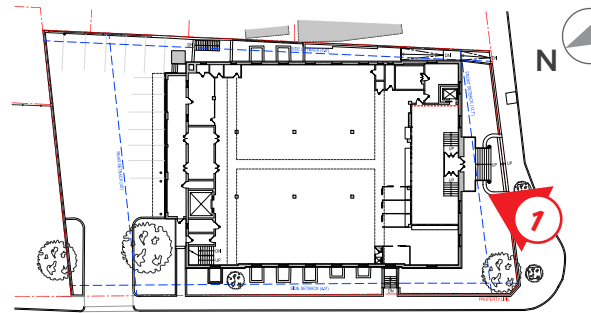
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Site Photos:



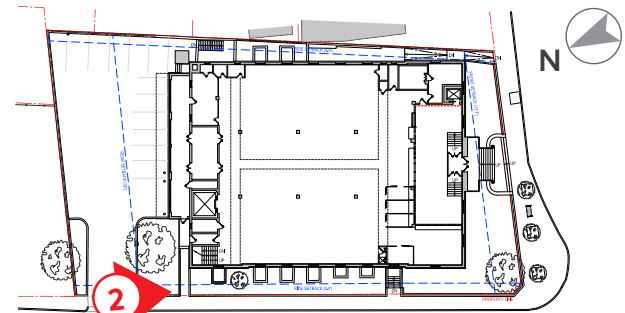
1 - Building Exterior - South



KEY PLAN N.T.S.



2 - Building Exterior - West



KEY PLAN N.T.S.

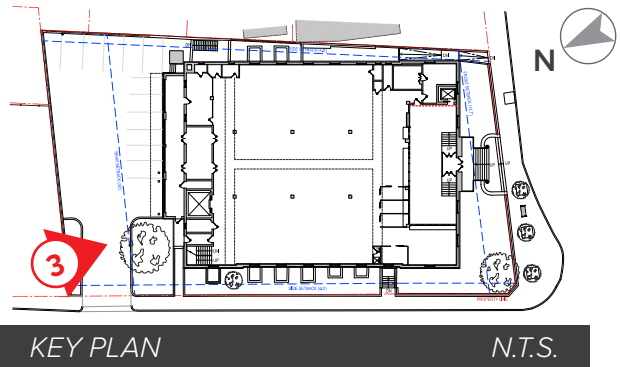
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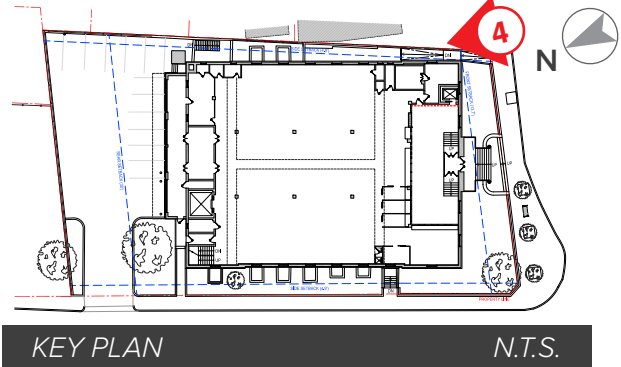
Site Photos::



3 - Building Exterior - North



4 - Building Exterior - East



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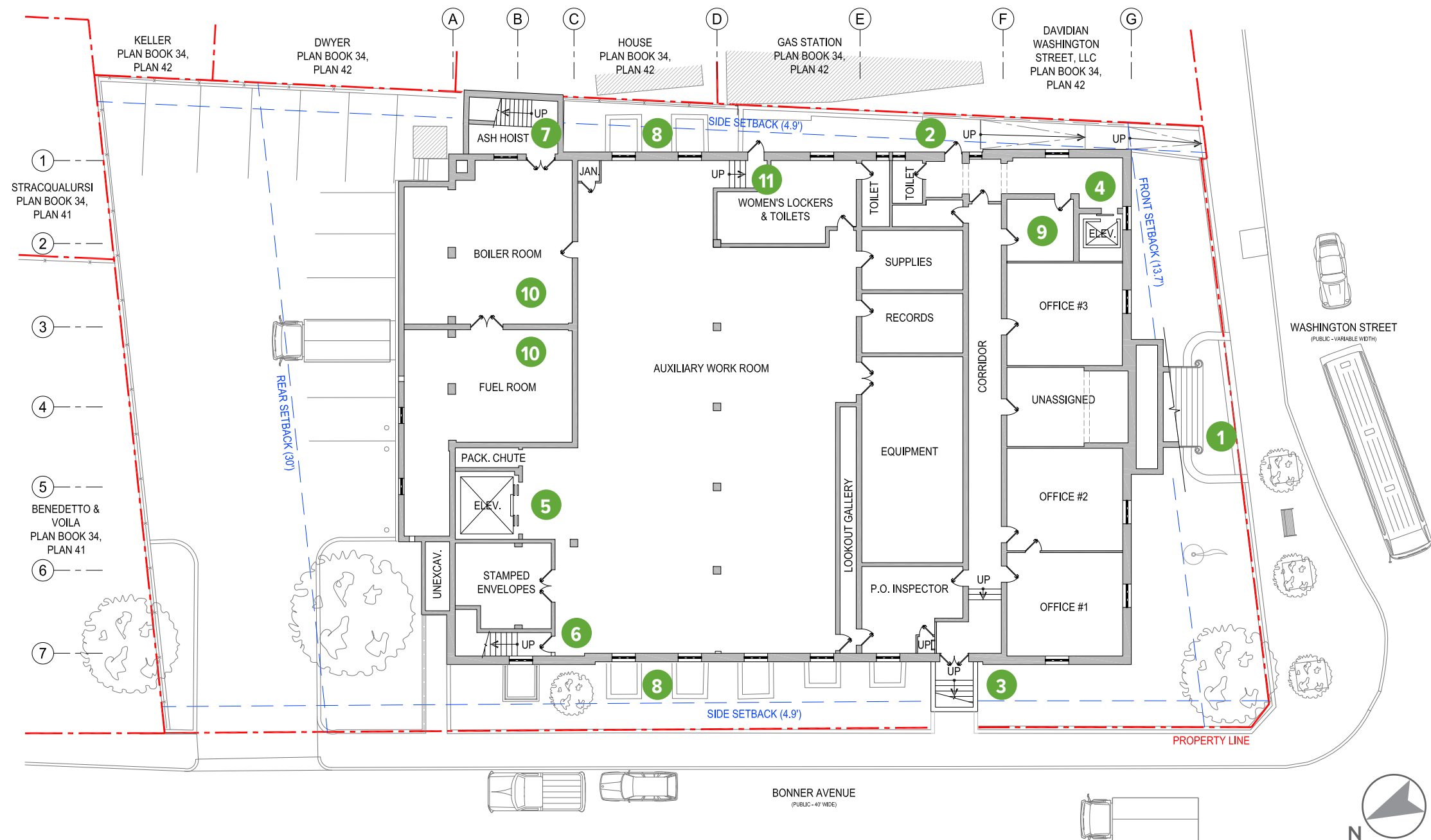


# UNION SQUARE FORMER POST OFFICE

## *Proposed Renovation*

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### Existing - Basement Area Summary

Gross Area<sup>1</sup>.....12,600 gsf  
Interior Gross Area<sup>2</sup>..... 12,000 gsf

### Definitions:

<sup>1</sup>Gross Area: The Sum Of All Areas, No Exclusions, Measured From Outside Face Of Exterior Walls

<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Existing Basement Floor Plan:

- 1 Existing Main Entry Granite Stairs To 1st Floor Public Lobby Above.
- 2 Existing Primary Basement Entry w/ Accessible Ramp.
- 3 Existing Secondary Basement Entry.
- 4 Existing 2-stop Passenger Elevator to 1st Floor.
- 5 Existing 2-stop Freight Elevator to 1st Floor.
- 6 Existing Stairs to 1st Floor & Mezzanine.
- 7 Existing Access Stairs from Mechanical Rooms to Parking Lot.
- 8 Existing Light Wells At Basement Windows.
- 9 Existing Elevator Machine Room.
- 10 Existing Mechanical Rooms.
- 11 Existing Secondary Basement Entry.

### Legend

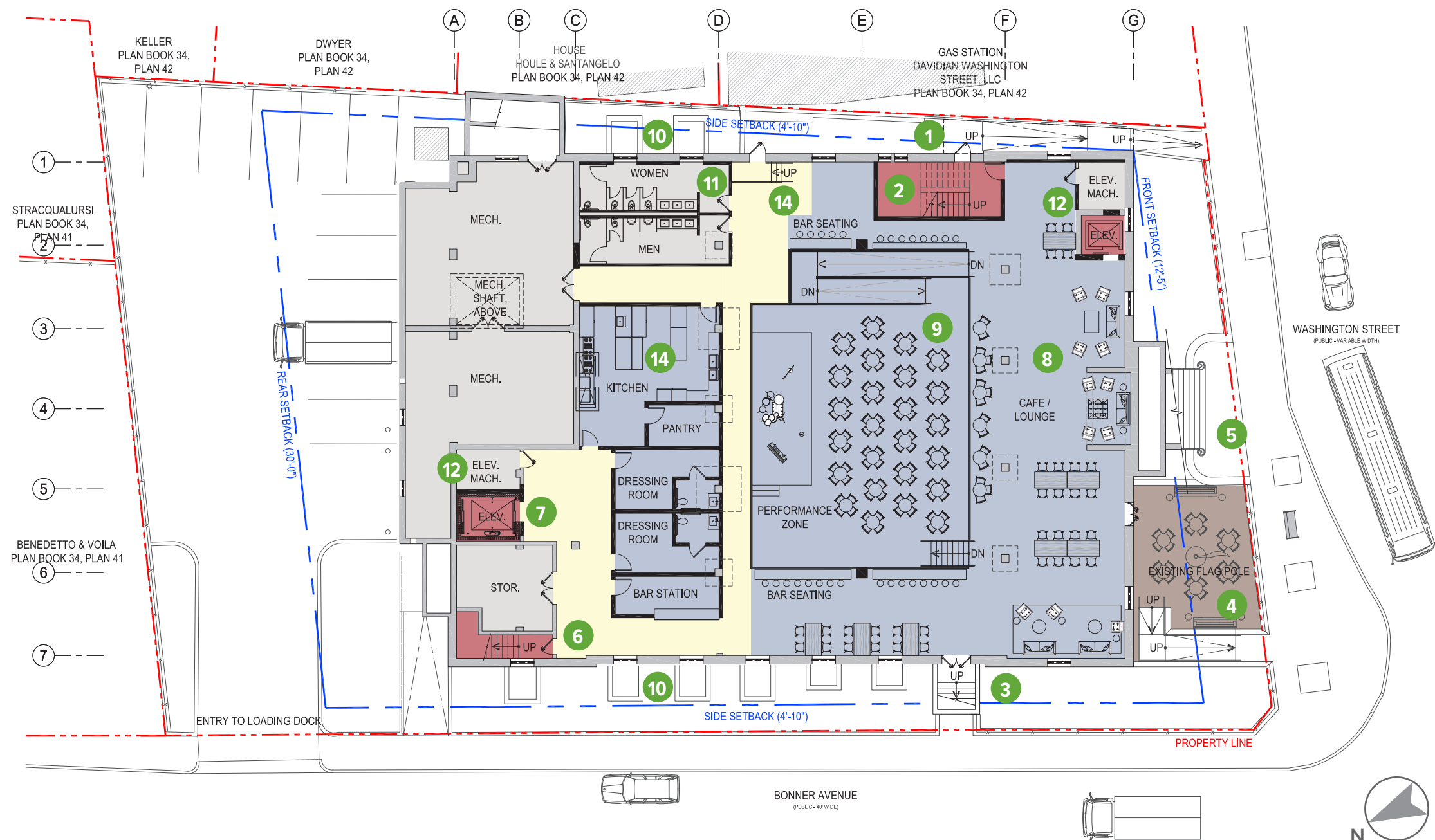
Office	Support Space
Cafe	Vertical Circulation
Retail/Market	Lateral Circulation
Performance Venue	Outdoor Space
Restaurant	Glass
Public Lobby	

### Graphic Scale



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Proposed - Basement Area Summary	
Gross Area <sup>1</sup> .....	12,600 gsf
Interior Gross Area <sup>2</sup> .....	12,000 gsf

Program Area	
Performance Venue.....	5,700 sf
Kitchen (Incl. Bar + Dressing) .....	1,300 sf
Circulation (Corridor) .....	1,550 sf
Restrooms.....	550 sf
<b>Total Rentable .....</b>	<b>9,100 sf</b>

Mechanical .....	2,000 sf
Circulation (Stair/ Elev.).....	600 sf
Storage .....	300 sf
Patio .....	600 sf

Definitions:  
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<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Proposed Basement Floor Plan:

- 1 New Accessible, Covered Basement Entry Door w/ Ramp.
- 2 New Main Stair Connecting Basement to Roof.
- 3 Existing Door & Stairs To Remain; Repair As Required.
- 4 New Sunken Patio, New Accessible Entry & Ramp To Basement From Sidewalk, w/ Existing Flag Pole.
- 5 Existing Granite Stairs To 1st Floor Public Lobby Above, Restore as Required.
- 6 New Secondary Egress Stairs From Basement Through 2nd Floor, to Replace Existing Stairs.
- 7 New Passenger Elevator Connecting Basement Through Roof to Replace Existing Freight Elevator.
- 8 Renovated Basement Level Includes New Performance Venue, Cafe, & Support Spaces.
- 9 New Recessed Zone to Accomodate Increased Head Height for Performance Area. Includes Stage & Flexible Accessible Seating.
- 10 Existing Lightwells To Be Cleaned & Repaired As Required.
- 11 New Restroom Core To Service Basement
- 12 New Elevator from Basement to 1st Floor, and Elevator Machine Room.
- 13 New Kitchen & Support Areas for Performance Venue.
- 14 New Stairs to Egress Door.

### Legend

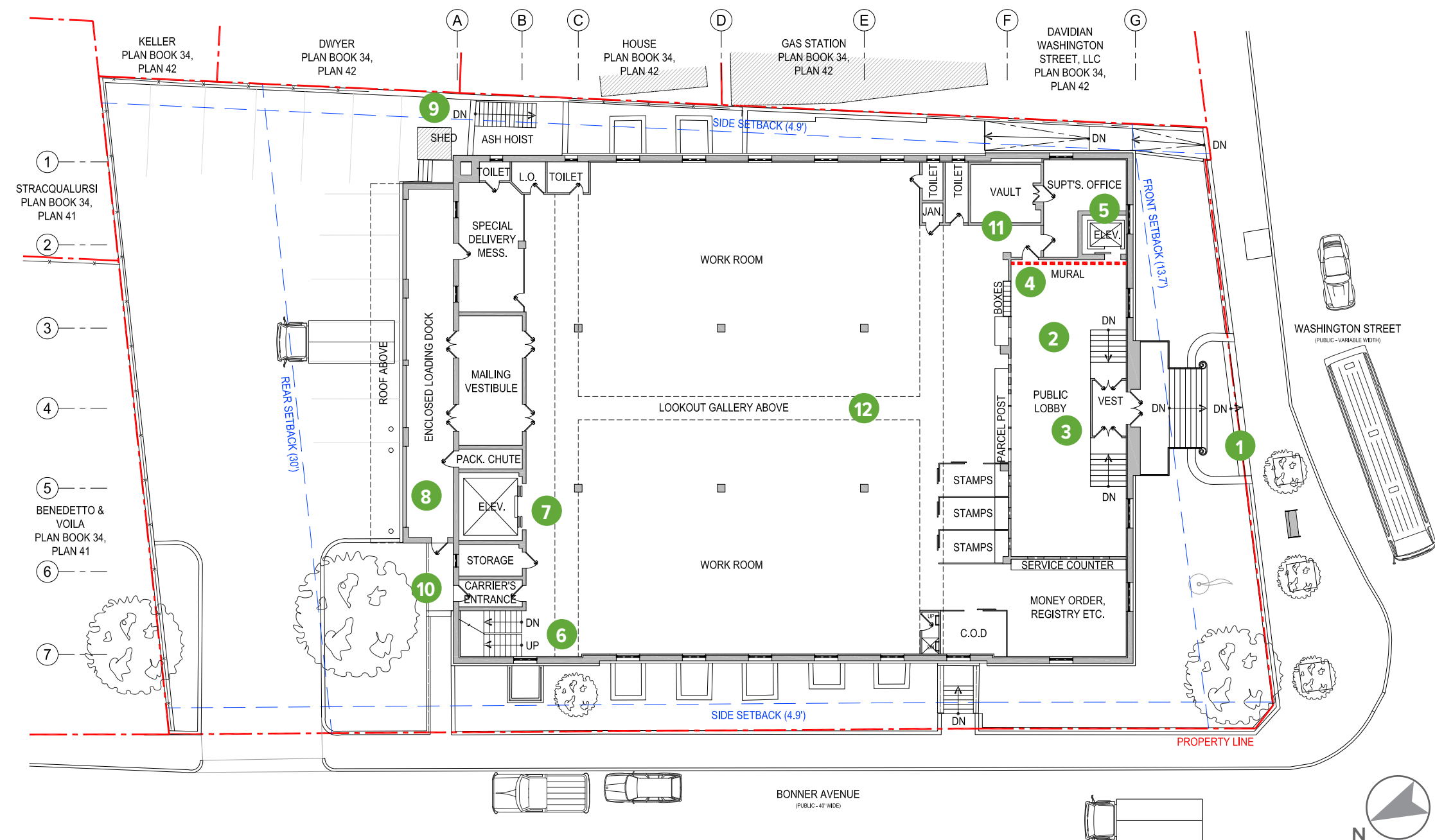
Office	Support Space
Cafe	Vertical Circulation
Retail/Market	Lateral Circulation
Performance Venue	Outdoor Space
Restaurant	Glass
Public Lobby	

### Graphic Scale



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Existing - First Floor Area Summary	
Gross Area <sup>1</sup> .....	12,500 gsf
Interior Gross Area <sup>2</sup> .....	11,900 gsf

Definitions:  
<sup>1</sup>Gross Area: The Sum Of All Areas, No Exclusions, Measured From Outside Face Of Exterior Walls  
<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Existing First Floor Plan

- 1 Existing Primary Entry; Granite Steps w/ Bronze Railings & Lamp Posts.
- 2 Existing Marble & Terrazzo Clad Historic Post Office Public Lobby w/ Bronze Mailboxes.
- 3 Existing Wood Entry Vestibule.
- 4 Existing 1937 WPA New Deal Painted Mural "A Skirmish Between British and Colonists", by Ross E. Moffett.
- 5 Existing 2-stop Passenger Elevator to Basement.
- 6 Existing Stairs to Basement & Mezzanine.
- 7 Existing 2-stop Freight Elevator to Basement.
- 8 Existing 4-Bay, Enclosed Loading Dock With Overhead Doors.
- 9 Existing Access Stairs to Mechanical Rooms In Basement.
- 10 Existing, Non-Accessible Secondary Egress.
- 11 Existing Vault.
- 12 Existing Viewing Gallery Walkway Suspended Over 1st Floor w/ Observation Slots to Allow for Supervision of Work Floor.

Legend

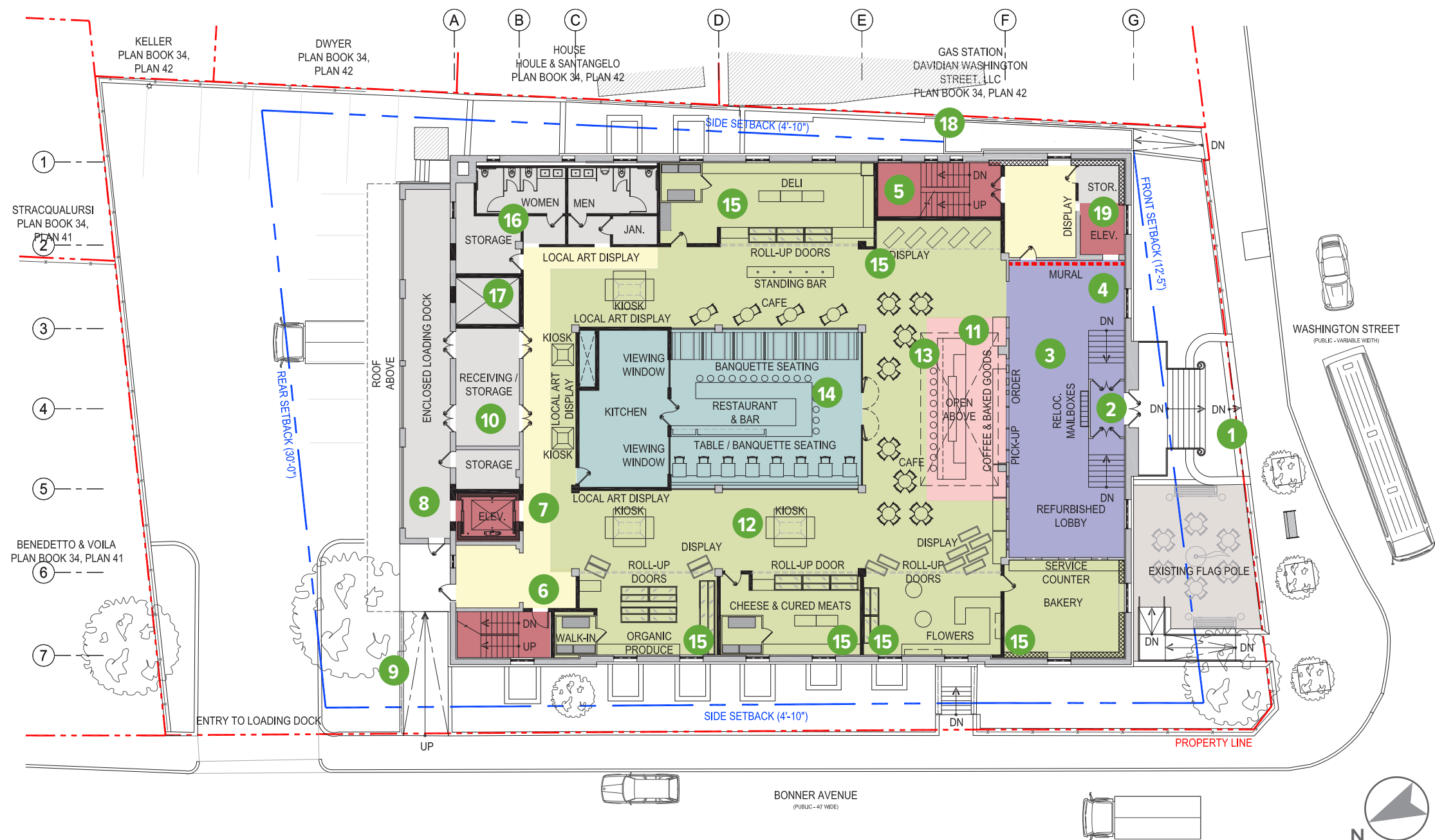
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<span style="display: inline-block; width: 15px; height: 15px; background-color: #f8cbad; border: 1px solid black;"></span> Cafe	<span style="display: inline-block; width: 15px; height: 15px; background-color: #c0392b; border: 1px solid black;"></span> Vertical Circulation
<span style="display: inline-block; width: 15px; height: 15px; background-color: #a9d0d9; border: 1px solid black;"></span> Retail/Market	<span style="display: inline-block; width: 15px; height: 15px; background-color: #fff9c4; border: 1px solid black;"></span> Lateral Circulation
<span style="display: inline-block; width: 15px; height: 15px; background-color: #95b3d7; border: 1px solid black;"></span> Performance Venue	<span style="display: inline-block; width: 15px; height: 15px; background-color: #a67c52; border: 1px solid black;"></span> Outdoor Space
<span style="display: inline-block; width: 15px; height: 15px; background-color: #80cbc4; border: 1px solid black;"></span> Restaurant	<span style="display: inline-block; width: 15px; height: 15px; background-color: #bbdefb; border: 1px solid black;"></span> Glass
<span style="display: inline-block; width: 15px; height: 15px; background-color: #9575cd; border: 1px solid black;"></span> Public Lobby	

Graphic Scale

0' 5' 10' 20'

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Proposed - First Floor Area Summary	
Gross Area <sup>1</sup> .....	12,600 gsf
Interior Gross Area <sup>2</sup> .....	11,800 gsf

Program Area	
Restaurant.....	1,500 sf
Cafe.....	1,200 sf
Retail Markets .....	4,400 sf
Restrooms.....	500 sf
Circulation.....	650 sf
<b>Total Rentable .....</b>	<b>9,500 sf</b>

Mechanical .....	200 sf
Circulation (Stair/ Elev.).....	900 sf
Loading Dock/ Storage.....	1,200 sf
Public Lobby.....	1,200 sf

Definitions:  
<sup>1</sup>Gross Area: The Sum Of All Areas, No Exclusions, Measured From Outside Face Of Exterior Walls  
<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Proposed First Floor Plan:

- 1 Restored Main Entry To Public Lobby; Including Granite Steps, Bronze Railings & Lamp Posts, Etc.
- 2 Restored Wood Vestibule From Entry Steps to Main Lobby.
- 3 Restored Historic Public Marble & Terrazzo Clad Lobby w/ Repurposed Bronze Mailboxes.
- 4 Restored 1937 WPA New Deal Painted Mural "A Skirmish Between British and Colonists", by Ross E. Moffett.
- 5 New Main Stair from Basement to Roof.
- 6 New Secondary Egress Stairs From Basement Through 2nd Floor, to Replace Existing Stairs.
- 7 New Passenger Elevator Connecting Basement Through Roof to Replace Existing Freight Elevator.
- 8 Renovated Loading Dock.
- 9 Renovated 1st Floor Accessible Entry w/ 1:20 Ramp (Handrails Not Required).
- 10 Renovated Storage Space.
- 11 New Cafe.
- 12 New Retail Kiosks & General Seating.
- 13 New Light Well To Skylight, Above.
- 14 New Restaurant.
- 15 New Retail Market Bays.
- 16 New Restroom Core To Service 1st Floor.
- 17 New Mechanical Shaft; Basement Through 2nd Floor.
- 18 New Canopy Over New Accessible Basement Entry, Below
- 19 New Elevator Between Basement & 1st Floor

### Legend

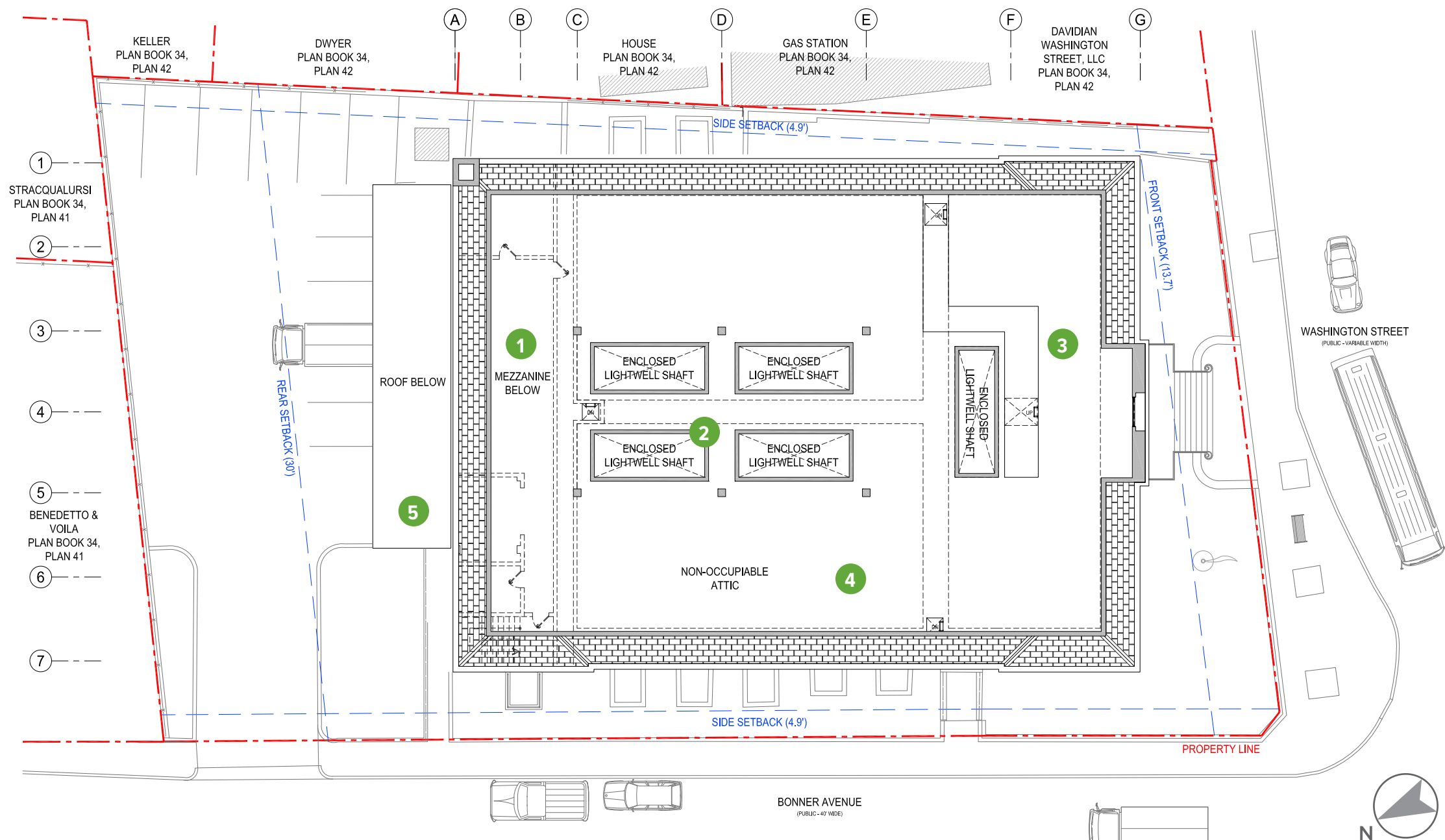
Office	Support Space
Cafe	Vertical Circulation
Retail/Market	Lateral Circulation
Performance Venue	Outdoor Space
Restaurant	Glass
Public Lobby	

### Graphic Scale



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### Existing - Mezzanine Area Summary

Gross Area <sup>1</sup> .....	11,900 gsf
Interior Gross Area <sup>2</sup> .....	2,800 gsf

### Definitions:

<sup>1</sup>Gross Area: The Sum Of All Areas, No Exclusions, Measured From Outside Face Of Exterior Walls

<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Existing Attic Plan

- 1 Existing Interim Mezzanine Level Below, Shown Dashed, Accomodates Locker Room, Restroom, & Access to Viewing Gallery.
- 2 Original Lightwells Intended to Bring Natural Light to 1st Floor Work Room. Existing Condition Has Infilled Lightwells at Roof Level, and with Lay-in Ceiling at 1st Floor.
- 3 Existing Catwalk to Roof Access Hatch.
- 4 Existing Unfinished, Non-Occupiable Attic.
- 5 Existing Loading Dock Roof Below.

### Legend

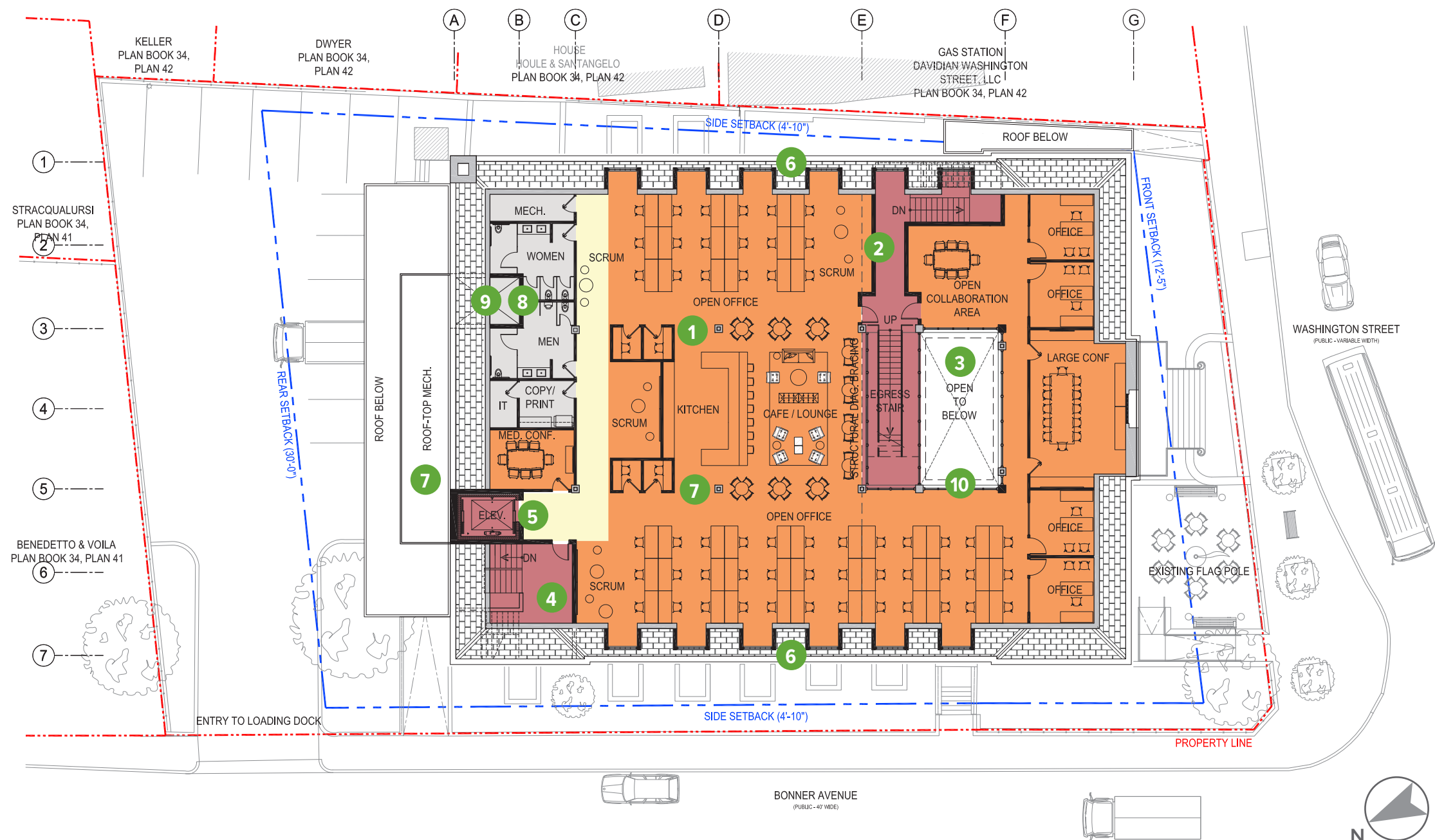
Office	Support Space
Cafe	Vertical Circulation
Retail/Market	Lateral Circulation
Performance Venue	Outdoor Space
Restaurant	Glass
Public Lobby	

### Graphic Scale



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### Proposed - Second Floor Area Summary

Gross Area <sup>1</sup> .....	11,900 gsf
Interior Gross Area <sup>2</sup> .....	9,300 gsf

### Program Area

Open Office.....	6,000 sf
Office Support .....	900 sf
Restrooms .....	400 sf
Circulation (Corridor) .....	450 sf
<b>Total Rentable .....</b>	<b>7,750 sf</b>

Mechanical .....	200 sf
Circulation (Stair/ Elev.).....	1,350 sf
Roof-Top Mechanical.....	450 sf

### Definitions:

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<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Proposed Second Floor Plan:

- 1 New Occupiable 2nd Floor.
- 2 New Main Stair from Basement to Roof.
- 3 New Lightwell, Open to Below; Skylight Above.
- 4 New Secondary Egress Stairs From Basement Through 2nd Floor, to Replace Existing Stairs.
- 5 New Passenger Elevator Connecting Basement Through Roof to Replace Existing Freight Elevator.
- 6 New Metal Roof Dormers In Existing Hipped Roof.
- 7 New Mechanical Zone Addition, Allows Mechanical Equipment To Be Located on Loading Dock Roof Providing Visual & Acoustic Isolation.
- 8 New Restroom Core To Serve New 2nd Floor.
- 9 New Mechanical Shaft; Basement Through 2nd Floor.
- 10 Operable Windows Overlooking 1st Floor Below.

### Legend

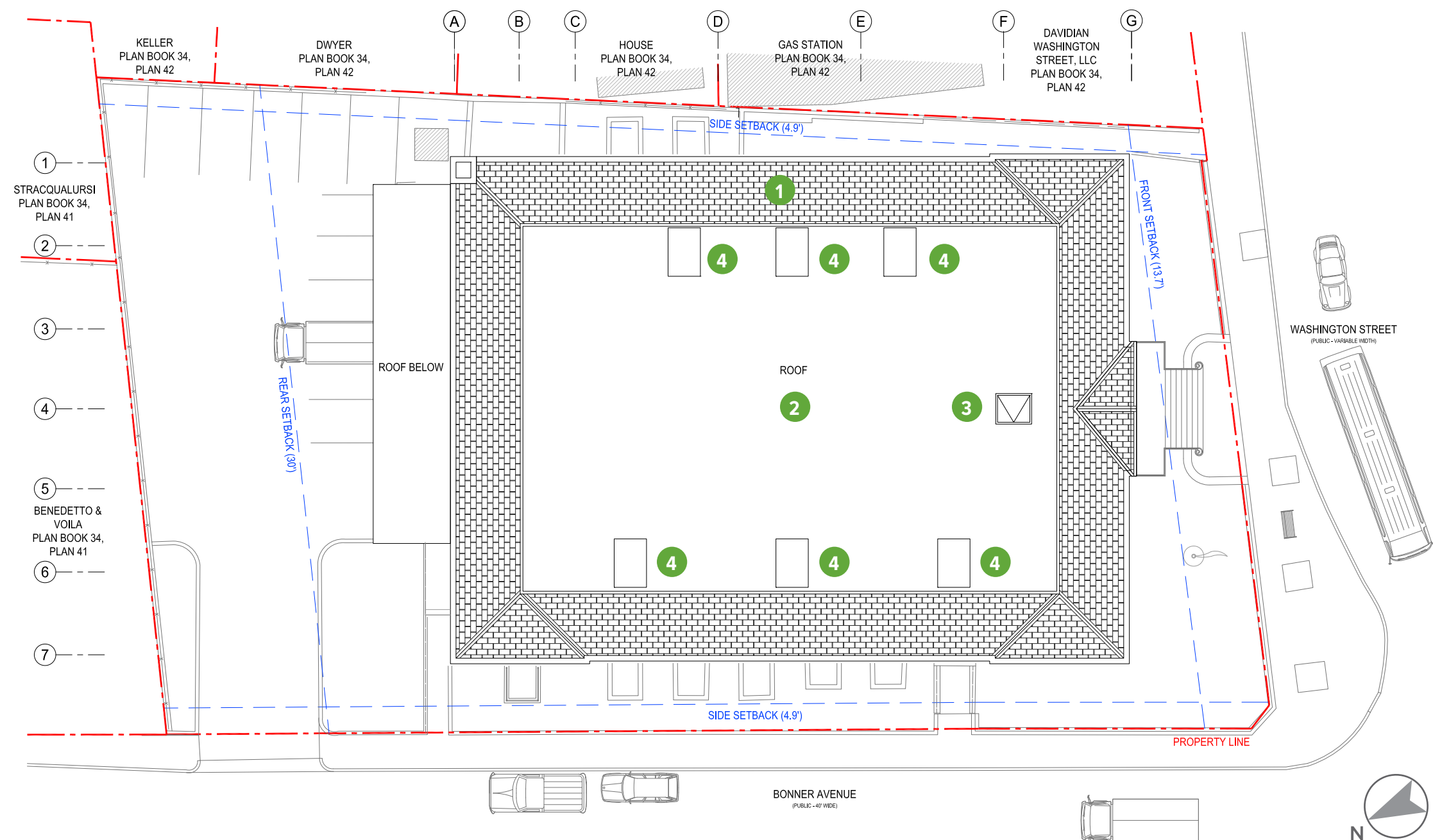
Office	Support Space
Cafe	Vertical Circulation
Retail/Market	Lateral Circulation
Performance Venue	Outdoor Space
Restaurant	Glass
Public Lobby	

### Graphic Scale



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## Existing - Roof Area Summary

### Definitions:

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<sup>2</sup>Interior Gross Area: The Sum Of The Interior Building Floor Area, Excluding Exterior Walls And Major Floor Openings.

## Existing Roof Plan

- 1 Existing Slate Shingled Hipped Roof.
- 2 Existing Low-slope Rubber Roof Pitched To Roof Drains.
- 3 Existing Access Hatch From Unfinished Attic.
- 4 Existing Rooftop Mechanical Units.

### Legend

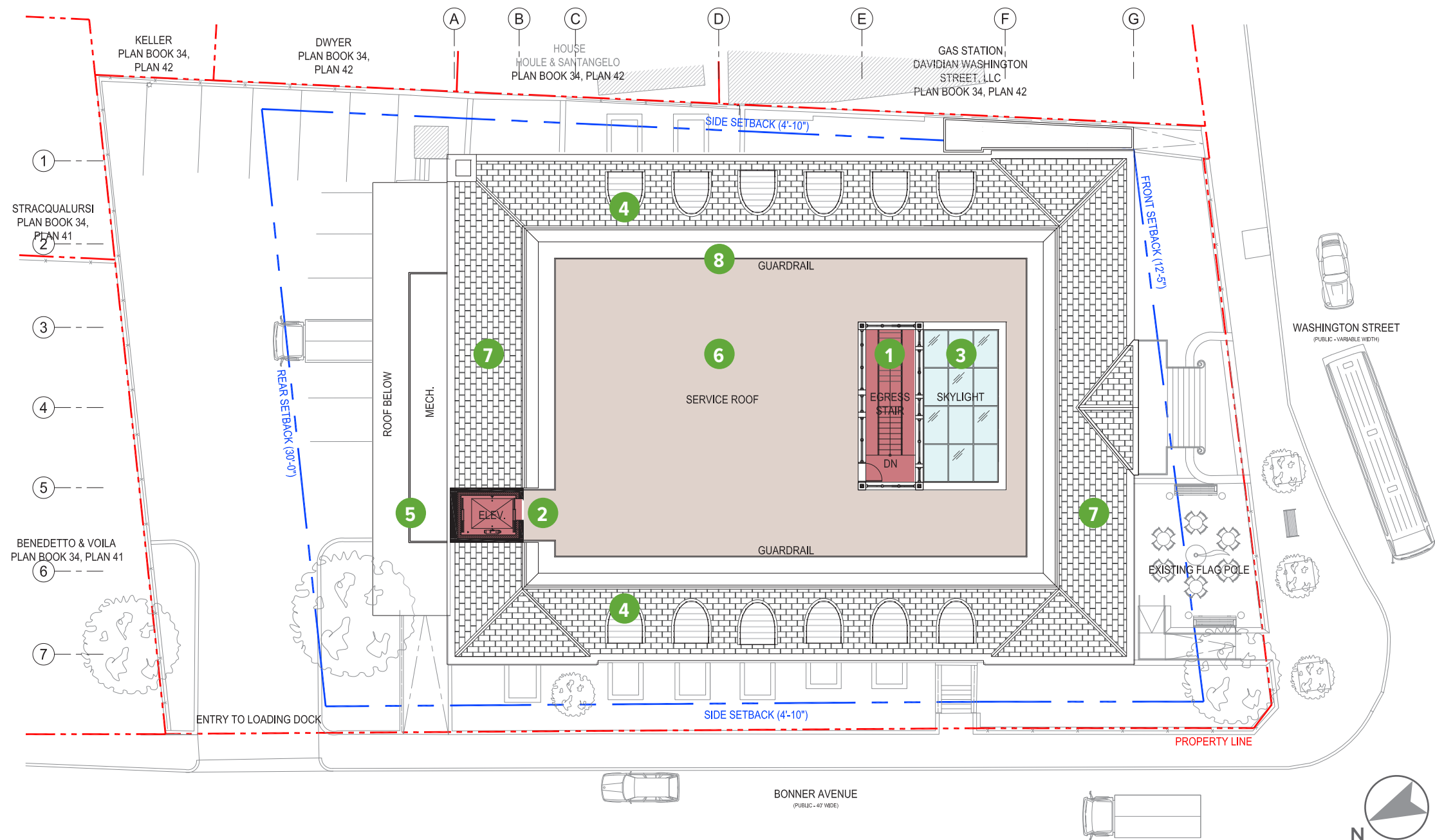
Office	Support Space
Cafe	Vertical Circulation
Retail/Market	Lateral Circulation
Performance Venue	Outdoor Space
Restaurant	Glass
Public Lobby	

### Graphic Scale



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Proposed - Service Roof Area Summary	
Gross Area <sup>1</sup> .....	500 gsf
Interior Gross Area <sup>2</sup> .....	400 gsf

Program Area	
<b>Total Rentable</b> .....	<b>0 sf</b>

<span style="display:inline-block; width:15px; height:15px; background-color: #c00000; border:1px solid black;"></span> Circulation (Stair/ Elev.) .....	400 sf
<span style="display:inline-block; width:15px; height:15px; background-color: #808080; border:1px solid black;"></span> Service Roof .....	4,000 sf

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## Proposed Service Roof

- 1 New Main Stair From Basement to Rooftop Head House with Detailing of Original Lightwell Lanterns.
- 2 New Passenger Elevator Connecting Basement Through Roof to Replace Existing Freight Elevator.
- 3 New Skylight, Bringing Light to 1st & 2nd Floors. New Metal Roof Dormers in Existing Hipped Roof Along East & West Facades.
- 4 New Mechanical Zone with Metal Screen Below.
- 5 New Service Roof.
- 6 Restored Hipped Roof Topped w/ Slate Shingles.
- 7 New Perimeter Guardrail.

### Legend

<span style="display:inline-block; width:15px; height:15px; background-color: #ff8c00; border:1px solid black;"></span> Office	<span style="display:inline-block; width:15px; height:15px; background-color: #d3d3d3; border:1px solid black;"></span> Support Space
<span style="display:inline-block; width:15px; height:15px; background-color: #ff69b4; border:1px solid black;"></span> Cafe	<span style="display:inline-block; width:15px; height:15px; background-color: #800000; border:1px solid black;"></span> Vertical Circulation
<span style="display:inline-block; width:15px; height:15px; background-color: #90ee90; border:1px solid black;"></span> Retail/Market	<span style="display:inline-block; width:15px; height:15px; background-color: #ffff00; border:1px solid black;"></span> Lateral Circulation
<span style="display:inline-block; width:15px; height:15px; background-color: #6a5acd; border:1px solid black;"></span> Performance Venue	<span style="display:inline-block; width:15px; height:15px; background-color: #808080; border:1px solid black;"></span> Outdoor Space
<span style="display:inline-block; width:15px; height:15px; background-color: #4682b4; border:1px solid black;"></span> Restaurant	<span style="display:inline-block; width:15px; height:15px; background-color: #add8e6; border:1px solid black;"></span> Glass
<span style="display:inline-block; width:15px; height:15px; background-color: #9370db; border:1px solid black;"></span> Public Lobby	

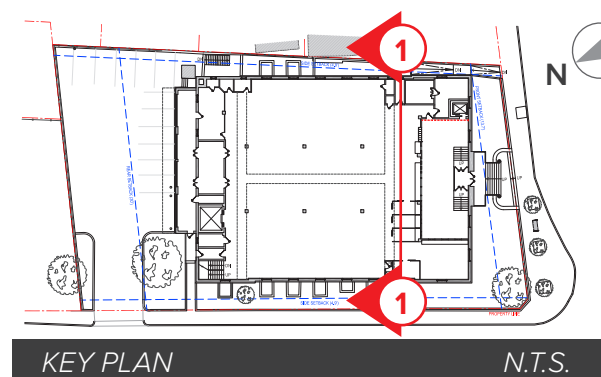
### Graphic Scale



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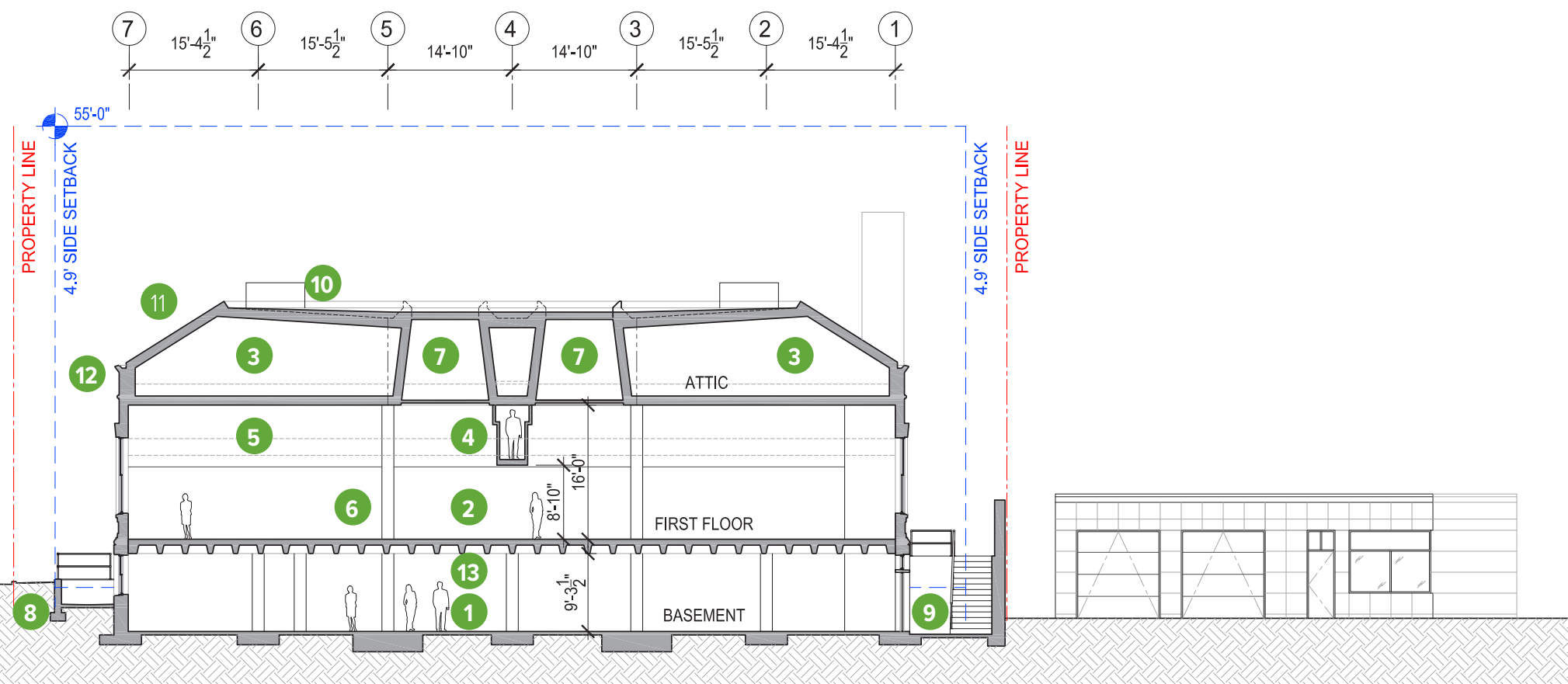




78.83'  
MAX. BLDG. HT.

57.95'  
T.O. ROOF  
46.40'  
T.O. ATTIC  
45.33'  
B.O. CLG.  
39.33'  
T.O. MEZZANINE  
29.33'  
T.O. 1ST FL.  
23.83'  
AVE. EXT. GRADE (ASSUMED)  
18.33'  
T.O. BASEMENT

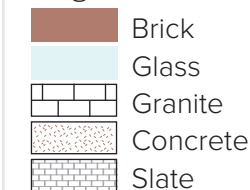
BONNER AVENUE  
(PUBLIC - 40' WIDE)



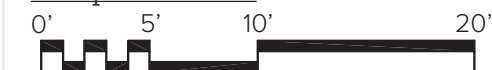
## 1 - Existing Transverse Section 1

- 1** Existing Basement Floor; Post Office Workroom.
- 2** Existing 1st Floor; Post Office Workroom.
- 3** Existing Unfinished Attic w/ Roof Access.
- 4** Existing Viewing Gallery Walkway Suspended Over 1st Floor w/ Observation Slots to Allow Supervision of Work Floor.
- 5** Existing Mezzanine Beyond, Accommodates Locker Room, Restroom & Access to Viewing Gallery.
- 6** Existing Structural Columns.
- 7** Existing Lightwell Shafts, Infilled w/ Acoustic Ceiling Tile on Interior & Roofed Over on Exterior.
- 8** Existing Basement Level Window Lightwell.
- 9** Existing Concrete Stairs & Egress Door to Mechanical Rooms in Basement.
- 10** Existing Low Slope Rubber Roof, Pitched To Roof Drains.
- 11** Existing Hipped Slate Shingle Roof.
- 12** Existing Stone Cornice w/ Integrated Copper Gutters.
- 13** Existing Concrete Waffle Slab.

### Legend

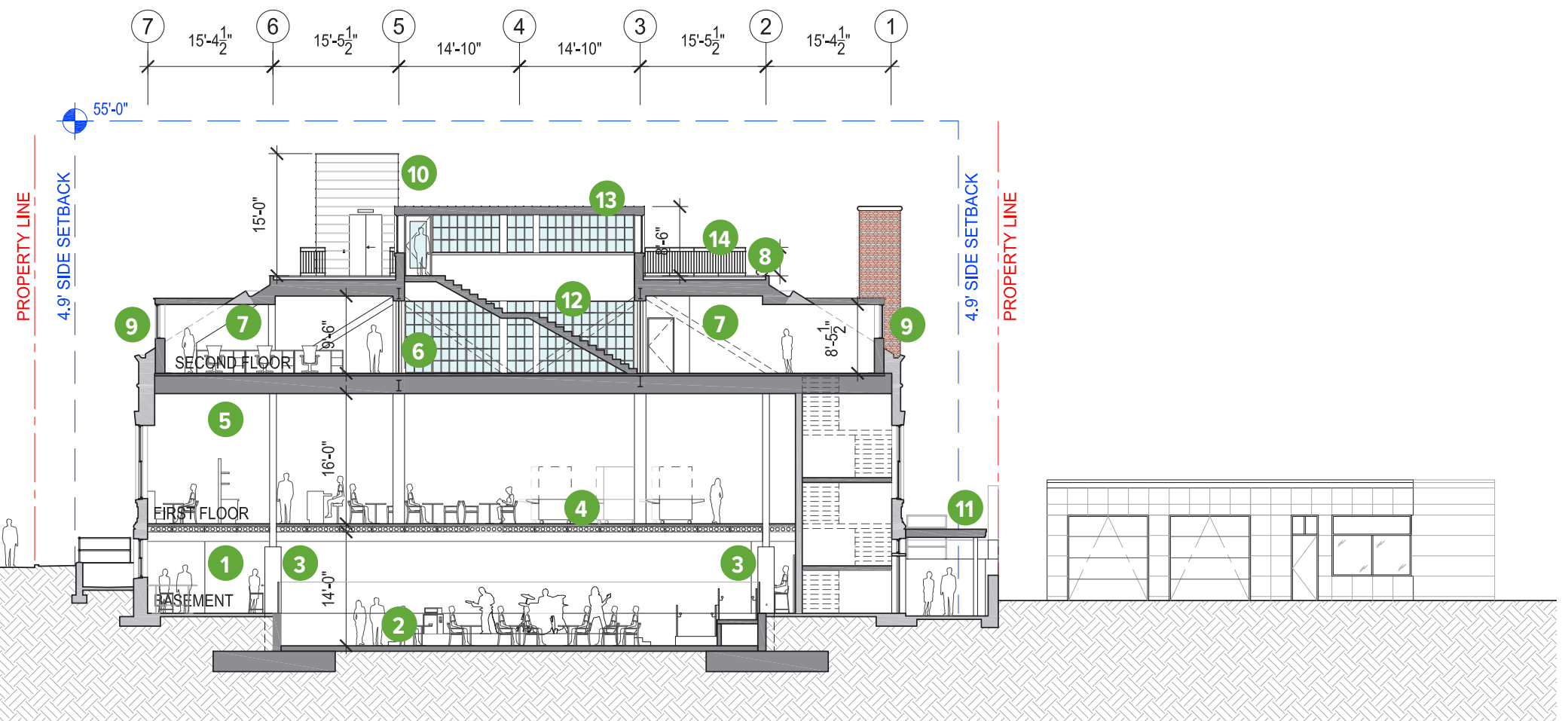
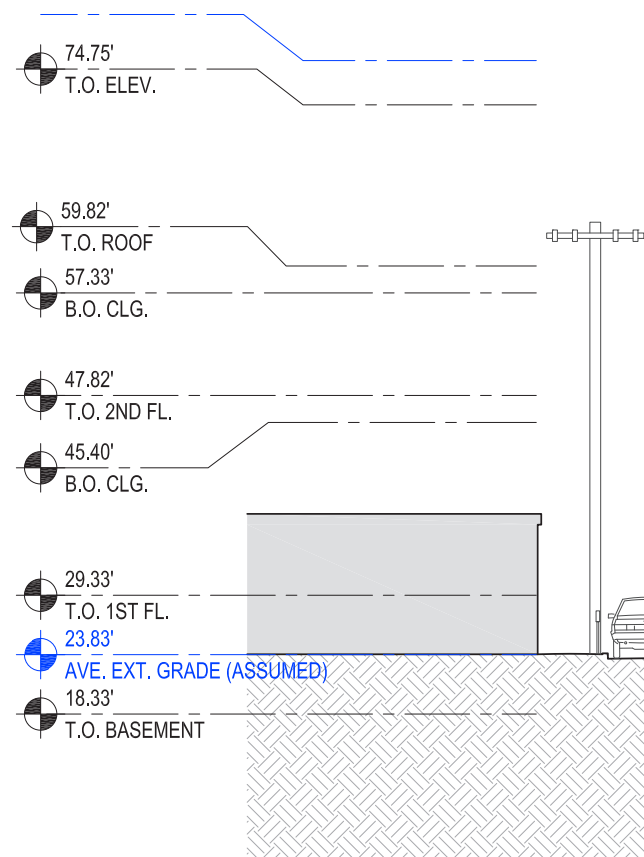
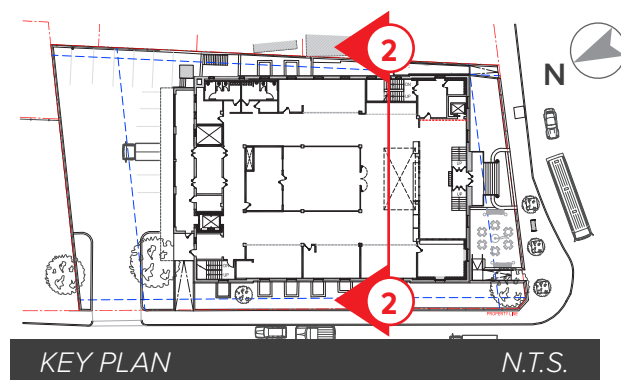


### Graphic Scale



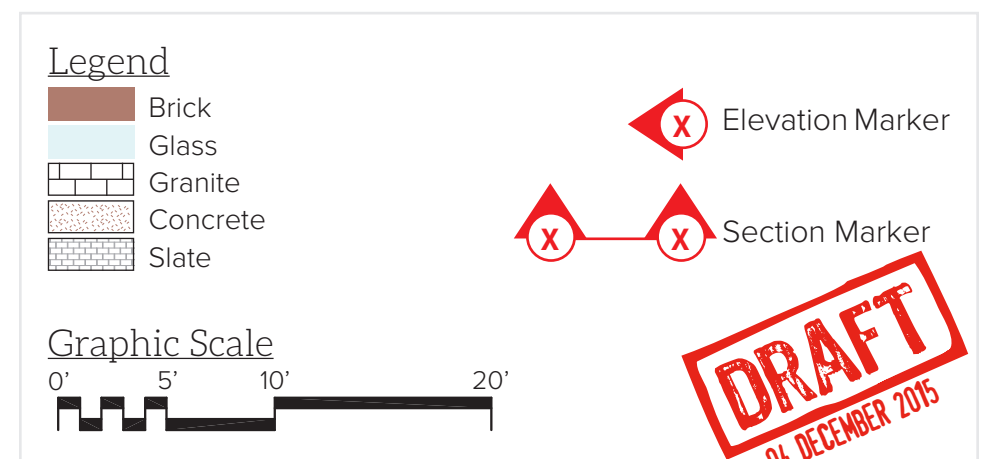
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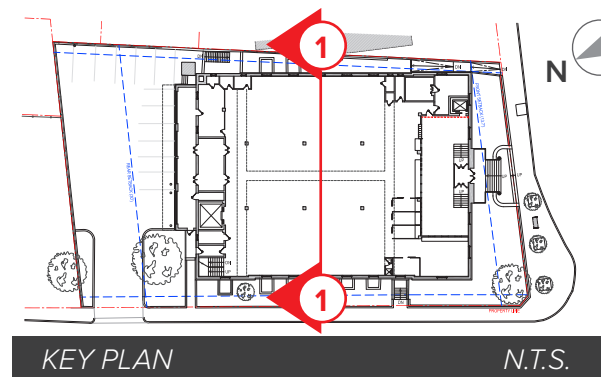


## 2 - Proposed Transverse Section 1

- 1 Renovated Basement Level Includes New Performance Venue, Cafe, & Support Spaces.
- 2 New Recessed Performance Area to Accommodate Increased Head Height, Includes Stage & Accessible, Flexible Seating.
- 3 New Structural Columns To Support Structural Renovations In Basement.
- 4 Existing Structural 1st Floor Slab Replaced To Over Performance Area To Accommodate Increased Head Height.
- 5 Renovated 1st Floor Includes New Restaurant, Cafe, & Retail Markets.
- 6 New Glass Enclosure Allows Light From New Skylight & Views to 1st Floor While Providing Acoustic Separation Between Floors
- 7 New 2nd Floor Provides Additional Leasable Square Footage, Including Commercial Office & Support Zones.
- 8 Partially Renovated Roof, Accommodating Required Structural Upgrades & Rooftop Maintenance
- 9 New Metal Roof Dormers Into New 2nd Floor
- 10 New Elevator Shaft Beyond.
- 11 New Accessible, Covered Entry At Basement.
- 12 New Stairs from 2nd Floor to Roof
- 13 New Stair Headhouse, to Match Detailing of Original Lightwell Lanterns.
- 14 New Rooftop Perimeter Guardrail.



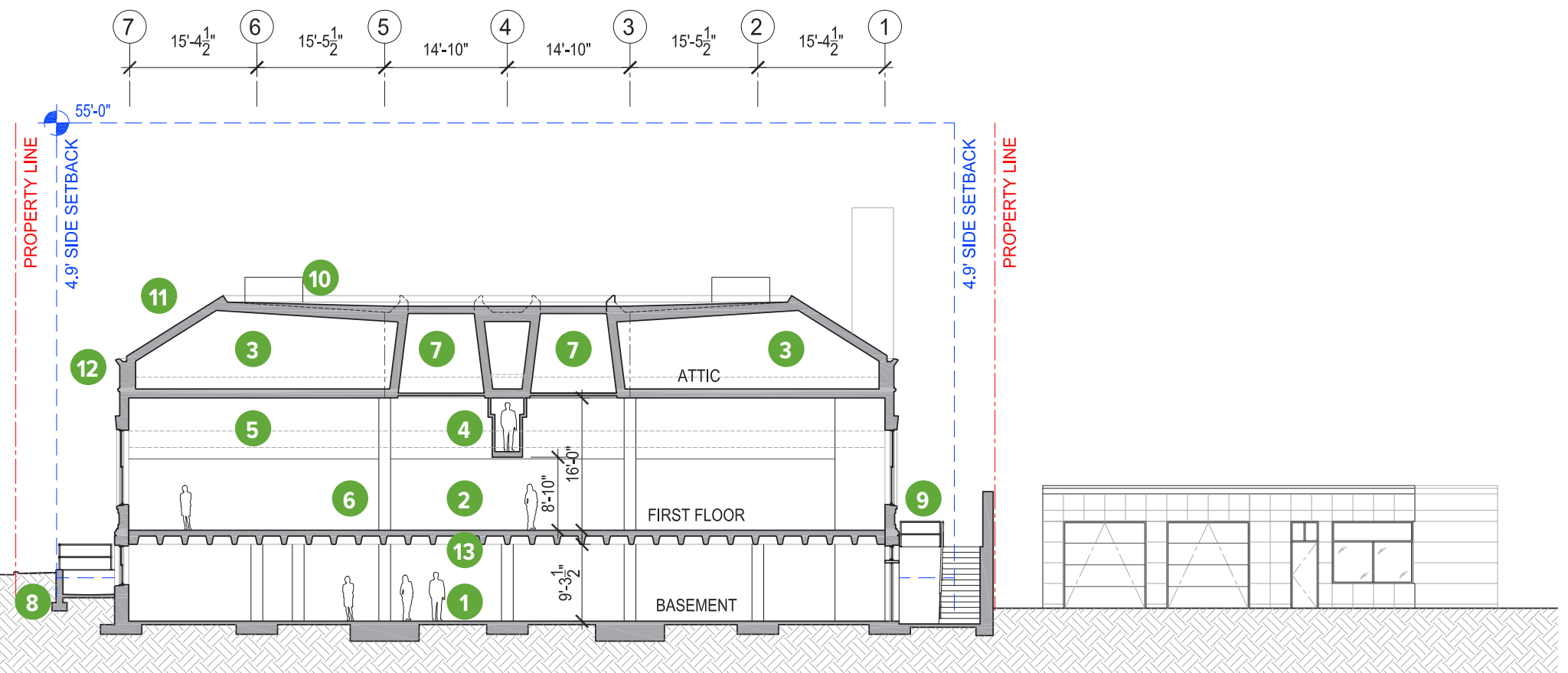




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AVE. EXT. GRADE (ASSUMED)  
18.33'  
T.O. BASEMENT

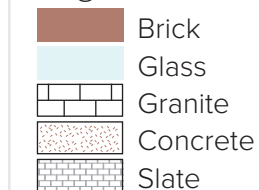
BONNER AVENUE  
(PUBLIC - 40' WIDE)



## 1 - Existing Transverse Section 2

- 1 Existing Basement Floor; Post Office Workroom.
- 2 Existing 1st Floor; Post Office Workroom.
- 3 Existing Unfinished Attic w/ Roof Access.
- 4 Existing Viewing Gallery Walkway Suspended Over 1st Floor w/ Observation Slots to Allow Supervision of Work Floor.
- 5 Existing Mezzanine Beyond, Accommodates Locker Room, Restroom & Access to Viewing Gallery.
- 6 Existing Structural Columns.
- 7 Existing Lightwell Shafts, Infilled w/ Acoustic Ceiling Tile on Interior & Roofed Over on Exterior.
- 8 Existing Basement Level Lightwells Allow Natural Light Into Basement Through Double Hung Windows Along West Facade.
- 9 Existing Concrete Stairs & Egress Door to Mechanical Rooms in Basement.
- 10 Existing Low Slope Rubber Roof, Pitched To Roof Drains.
- 11 Existing Hipped Slate Shingle Roof.
- 12 Existing Stone Cornice w/ Integrated Copper Gutters.
- 13 Existing Concrete Waffle Slab.

### Legend

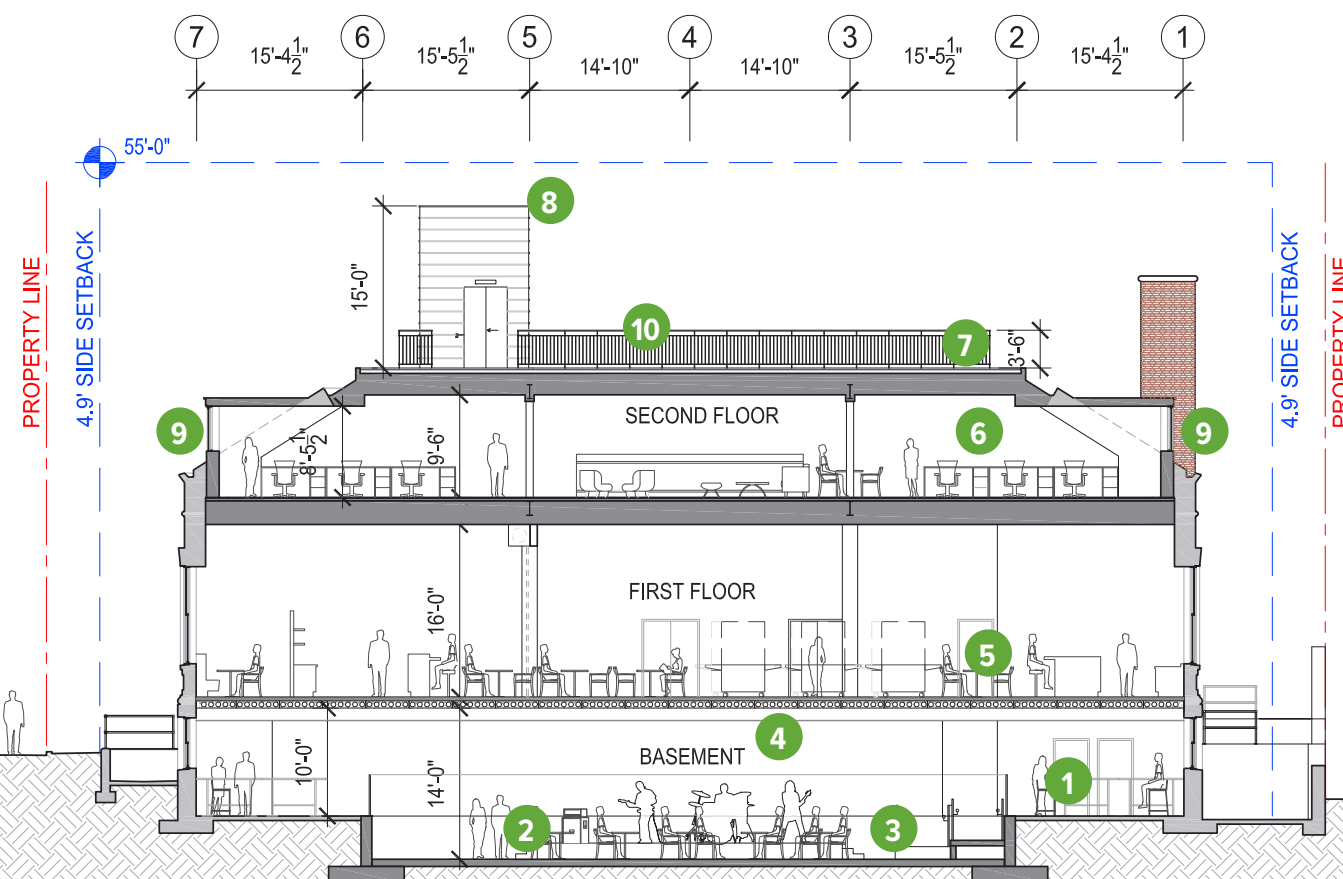
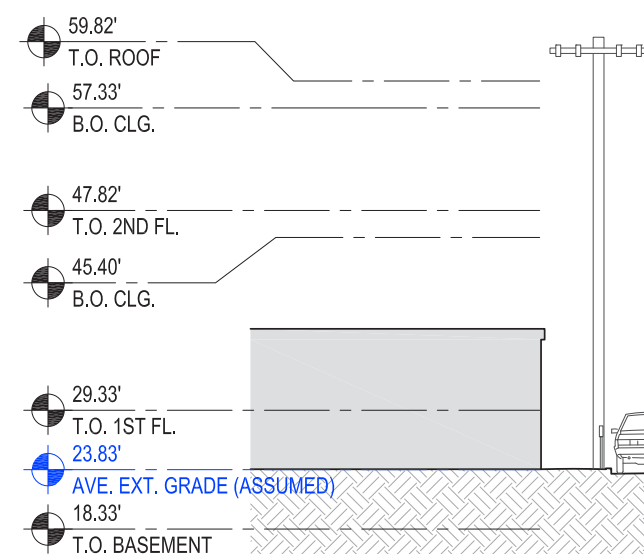
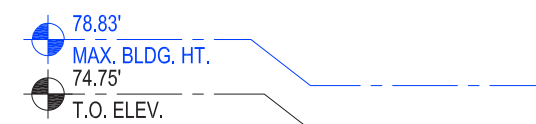
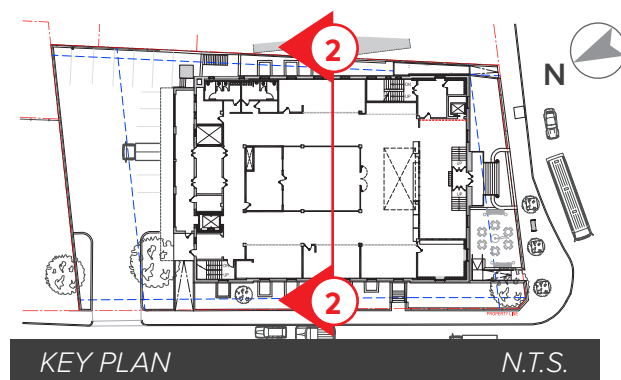


### Graphic Scale



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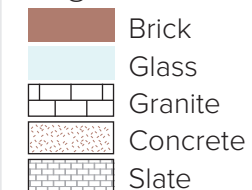




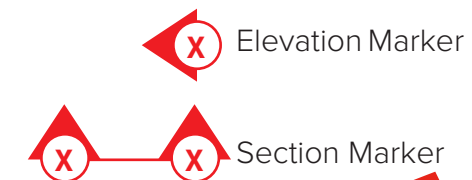
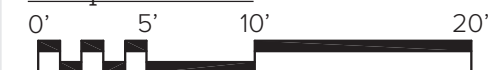
## 2 - Proposed Transverse Section 2

- 1 Renovated Basement Level Includes New Performance Venue, Cafe, & Support Spaces.
- 2 New Performance Zone Includes Stage & Accessible, Flexible Seating Area.
- 3 New Recessed Slab Zone Allows Increased Head Height In Performance Area.
- 4 Existing Structural 1st Floor Slab Replaced To Over Performance Area To Accommodate Increased Head Height In Performance Area.
- 5 Renovated 1st Floor Includes New Restaurant, Cafe, & Retail Markets.
- 6 New 2nd Floor Provides Additional Leasable Square Footage, Including Commercial Office & Support Zones.
- 7 Partially Renovated Roof, Accommodating Required Structural Upgrades & Rooftop Maintenance.
- 8 New Passenger Elevator Overrun Shaft Beyond; Exterior to Match Existing Brick Detailing.
- 9 New Metal Roof Dormers In Existing Hipped Roof.
- 10 New Rooftop Perimeter Guardrail.

### Legend

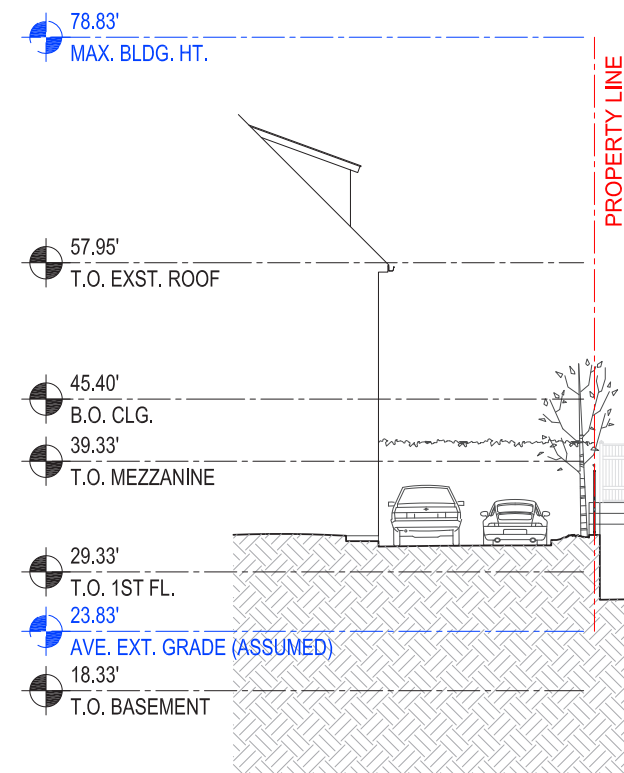
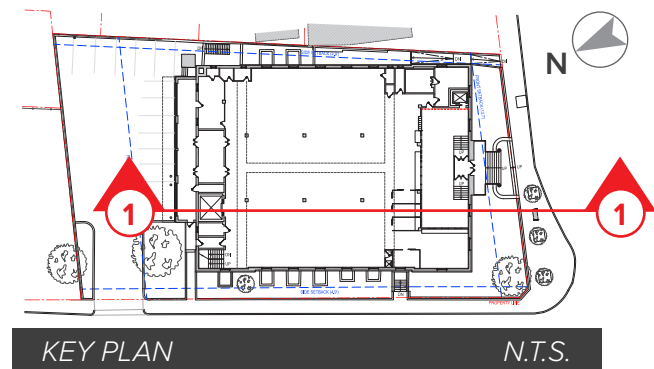


### Graphic Scale



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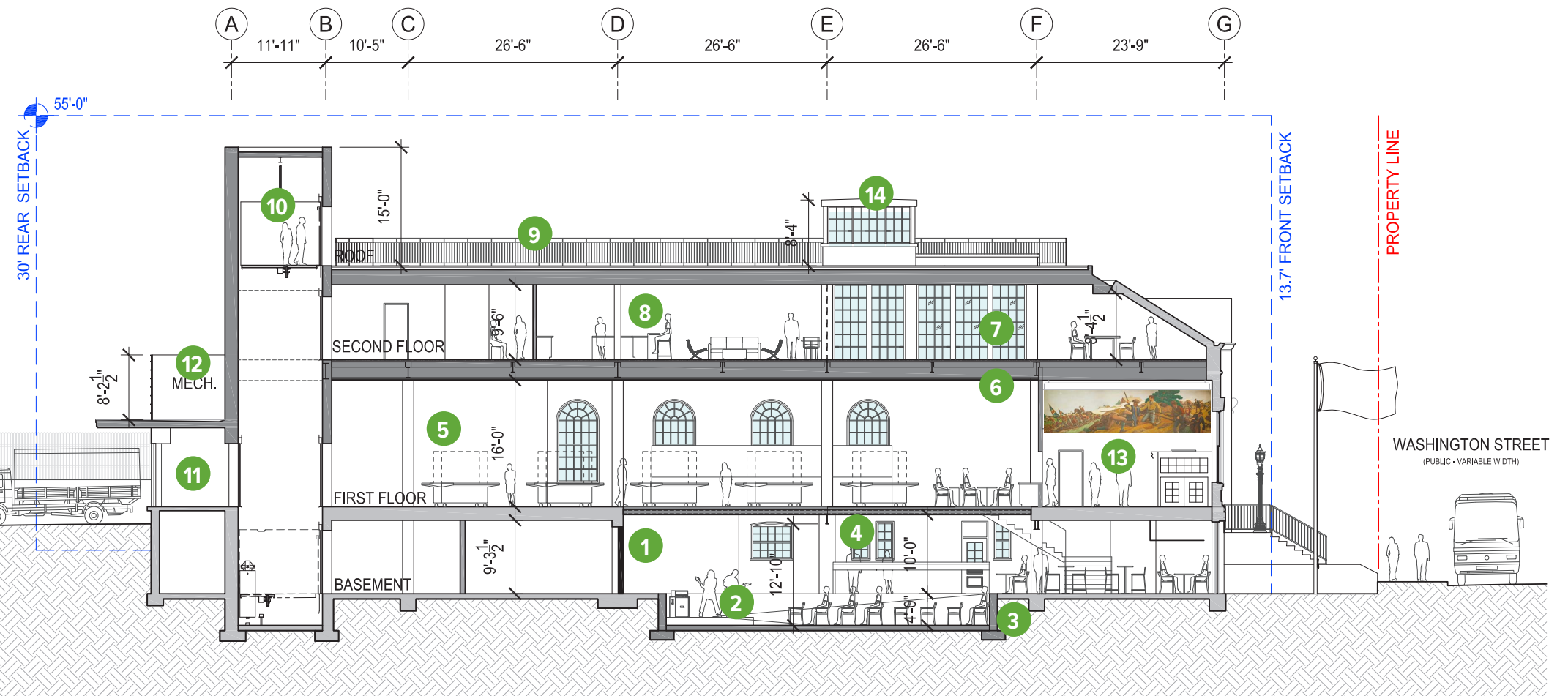
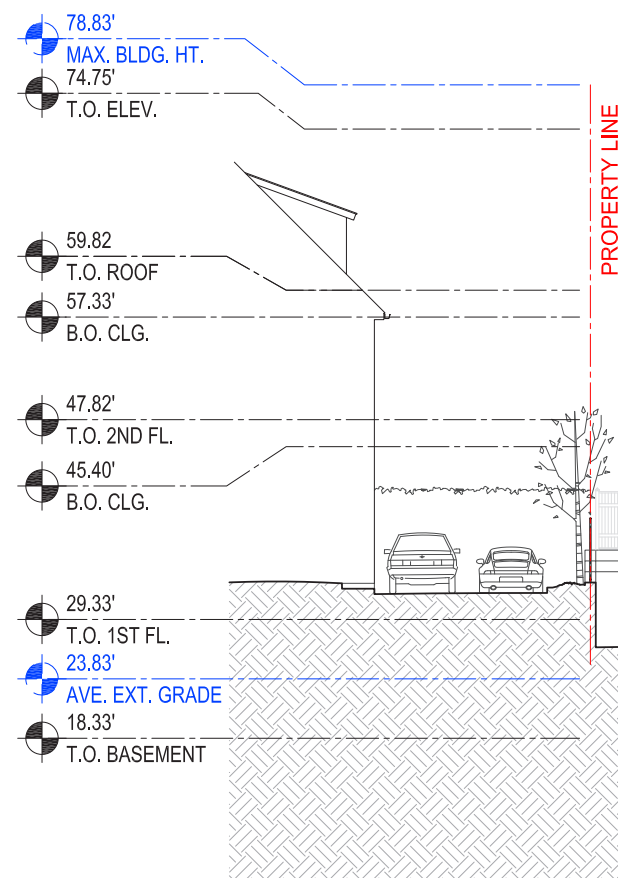
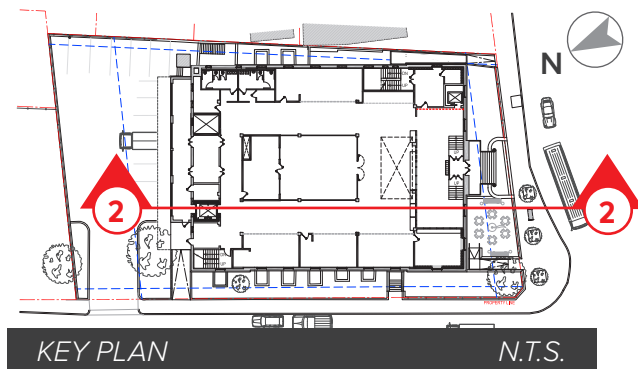


## 1 - Existing Longitudinal Section 1

- |                                                                                                                       |                                                                                                |                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| 1 Existing Basement Floor; Post Office Workroom.                                                                      | 7 Existing Skylights, Infilled w/ Acoustic Ceiling Tile on Interior & Roofed Over on Exterior. | Ross E. Moffett.                                                                       |
| 2 Existing First Floor; Post Office Workroom.                                                                         | 8 Existing Freight Elevator Shaft.                                                             | 14 Existing Low Slope Rubber Roof, Pitched to Roof Drains.                             |
| 3 Existing Unfinished Attic w/ Roof Access.                                                                           | 9 Existing Freight Elevator Services Basement & 1st Floor.                                     | 15 Existing Hipped Slate Shingle Roof.                                                 |
| 4 Existing Viewing Gallery Walkway. Suspended Over 1st Floor w/ Observation Slots to Allow Supervision of Work Floor. | 10 Existing 4-Bay, Enclosed Loading Dock With Overhead Doors.                                  | 16 Existing Main Entry To Public Lobby; Granite Steps w/ Bronze Railings & Lamp Posts. |
| 5 Existing Mezzanine Beyond, Accommodates Locker Room, Restroom & Access to Viewing Gallery.                          | 11 Existing Historic Lobby w/ Bronze Mailboxes.                                                | 17 Existing Rooftop Mechanical Units.                                                  |
| 6 Existing Structural Columns.                                                                                        | 12 Existing Wood Vestibule.                                                                    |                                                                                        |
|                                                                                                                       | 13 Existing 1937 WPA New Deal Painted Mural "A Skirmish Between British and Colonists", by     |                                                                                        |





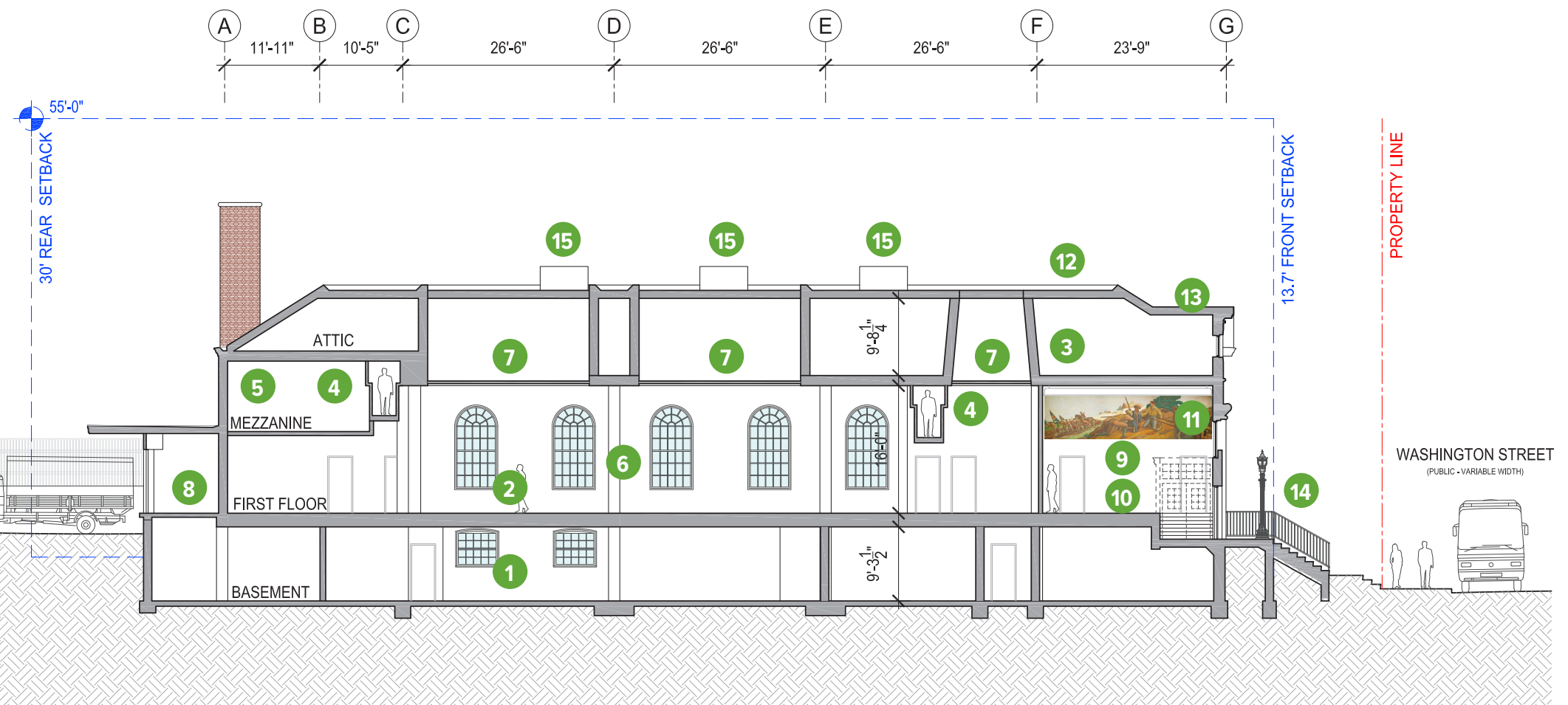
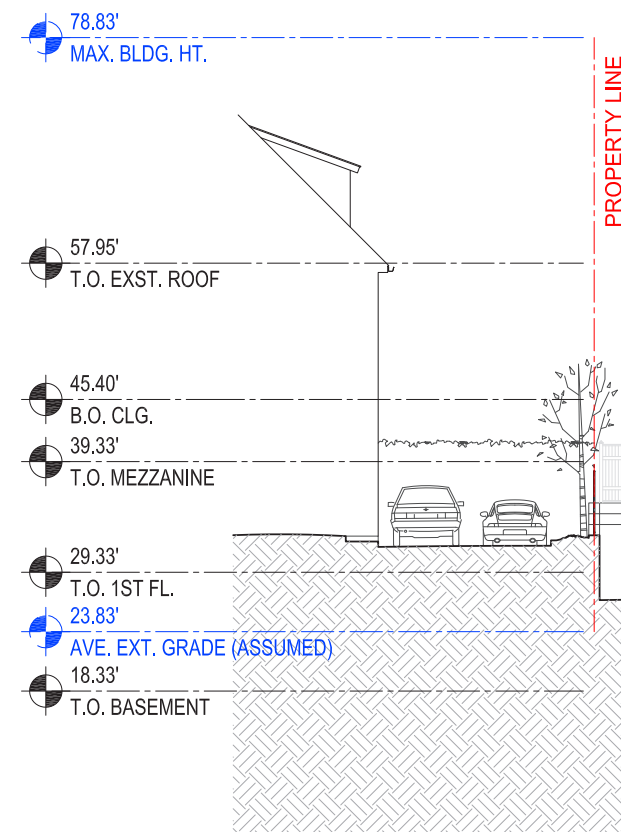
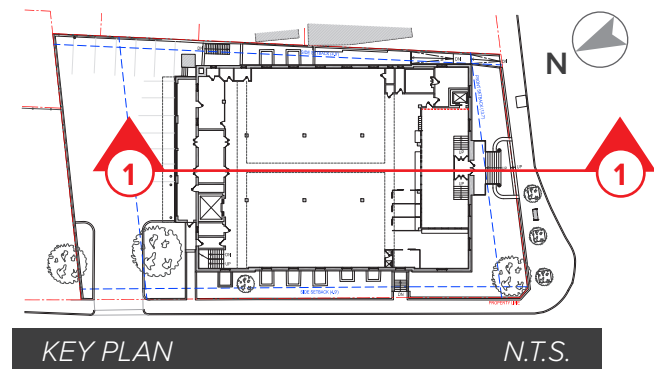


## 2 - Proposed Longitudinal Section 1

- 1 Renovated Basement Level Includes New Performance Venue, Cafe, & Support Spaces.
- 2 New Performance Zone Includes Stage & Accessible, Flexible Seating Area.
- 3 New Recessed Slab Zone Allows Increased Head Height In Performance Area.
- 4 Existing Structural 1st Floor Slab Replaced To Over Performance Area To Accommodate Increased Head Height In Performance Area.
- 5 Renovated 1st Floor Includes New Restaurant, Cafe, & Retail Markets.
- 6 New 2nd Floor Structure.
- 7 New Glass Enclosure At New Lightwell Beyond.
- 8 New 2nd Floor Provides Additional Leasable Square Footage, Including Commercial Office & Support Zones.
- 9 Partially Renovated Roof, Accommodating Required Structural Upgrades & Rooftop Maintenance.
- 10 Renovated Elevator Shaft Extends To Roof.
- 11 Existing Loading Dock To Be Renovated.
- 12 New Mechanical Zone Addition, Screened for Visual & Accoustic Isolation.
- 13 Restored Public Lobby & Historic Mural.
- 14 New Stair Headhouse, to Match Detailing of Original Lightwell Lanterns.

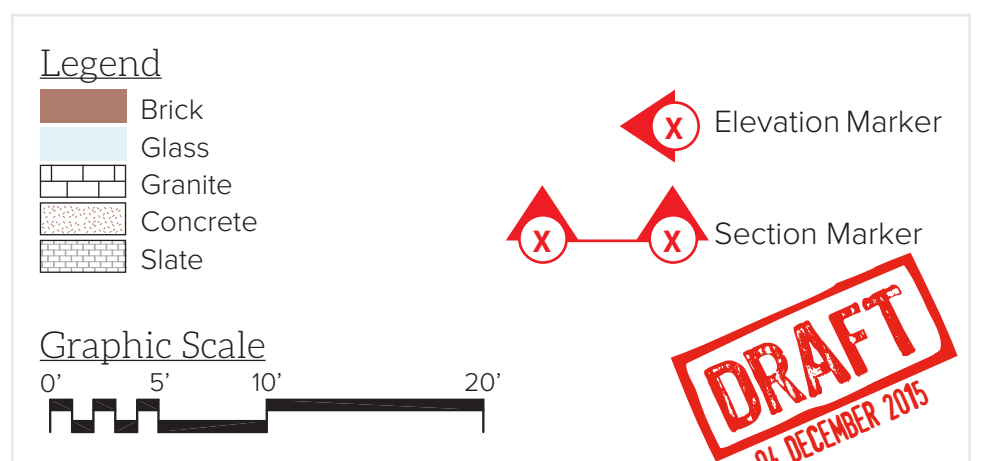




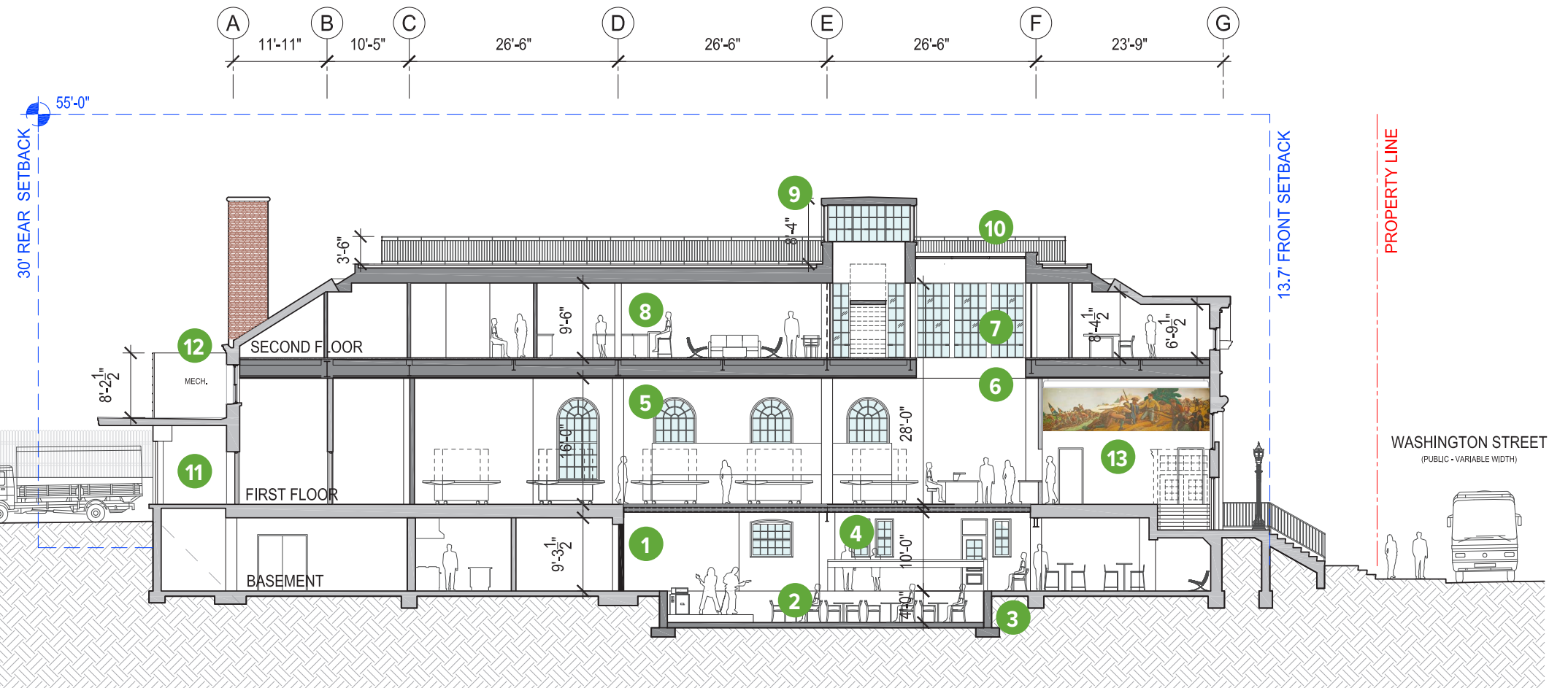
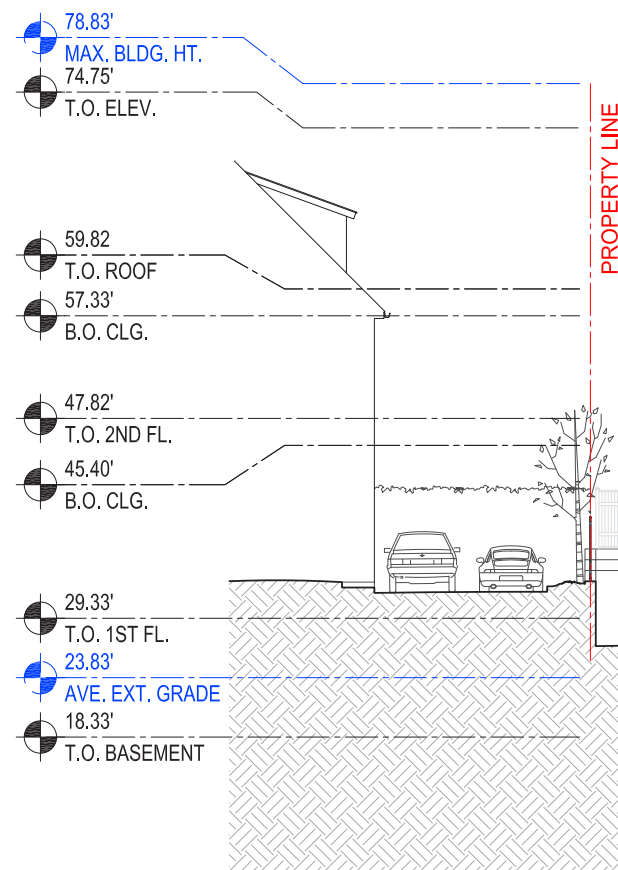
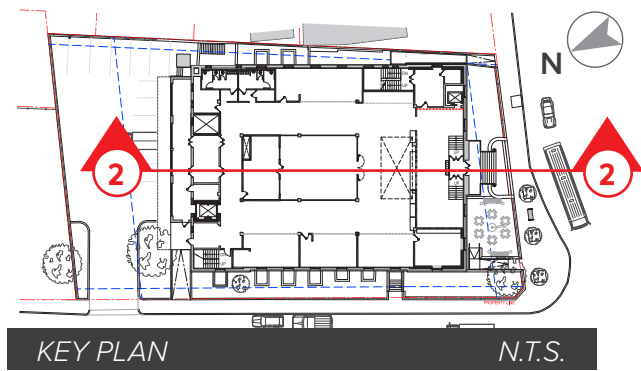


## 1 - Existing Longitudinal Section 2

- |                                                                                                                       |                                                                                                             |                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| 1 Existing Basement Floor; Post Office Workroom.                                                                      | 7 Existing Skylights, Infilled w/ Acoustic Ceiling Tile on Interior & Roofed Over on Exterior.              | 13 Existing Hipped Slate Shingle Roof.                                                 |
| 2 Existing 1st Floor; Post Office Workroom.                                                                           | 8 Existing 4-Bay, Enclosed Loading Dock With Overhead Doors.                                                | 14 Existing Main Entry To Public Lobby; Granite Steps w/ Bronze Railings & Lamp Posts. |
| 3 Existing Unfinished Attic w/ Roof Access.                                                                           | 9 Existing Historic Marble & Terrazo Clad Public Lobby w/ Bronze Mailboxes.                                 | 15 Existing Rooftop Mechanical Units.                                                  |
| 4 Existing Viewing Gallery Walkway. Suspended Over 1st Floor w/ Observation Slots to Allow Supervision of Work Floor. | 10 Existing Wood Entry Vestibule.                                                                           |                                                                                        |
| 5 Existing Mezzanine Level, Accommodates Locker Room, Restroom & Access to Viewing Gallery.                           | 11 Existing 1937 WPA New Deal Painted Mural "A Skirmish Between British and Colonists", by Ross E. Moffett. |                                                                                        |
| 6 Existing Structural Columns.                                                                                        | 12 Existing Low Slope Rubber Roof, Pitched to                                                               |                                                                                        |



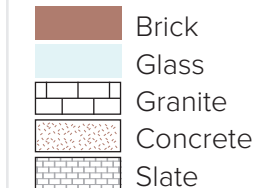




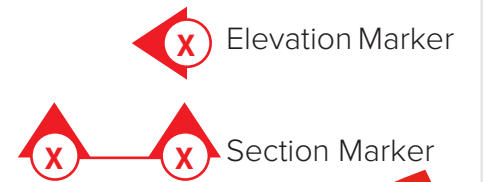
## 2 - Proposed Longitudinal Section 2

- 1** Renovated Basement Level Includes New Performance Venue, Cafe, & Support Spaces.
- 2** New Performance Zone Includes Stage & Accessible, Flexible Seating Area.
- 3** New Recessed Slab Zone Allows Increased Head Height In Performance Area.
- 4** Existing Structural 1st Floor Slab Replaced Over Performance Area To Accommodate Increased Head Height In Performance Area.
- 5** Renovated 1st Floor Includes New Restaurant, Cafe, & Retail Markets.
- 6** New Double-height Space Open to Skylight Above.
- 7** Glass Enclosure Allows Light to 2nd Floor While Providing Acoustic Separation.
- 8** New 2nd Floor Provides Additional Leasable Square Footage, Including Commercial Office & Support Zones.
- 9** New Stair Headhouse, to Match Detailing of Original Skylight.
- 10** New Skylight, Providing Light to 1st & 2nd Floors.
- 11** Existing Loading Dock To Be Renovated as Required.
- 12** New Mechanical Zone, with Screen for Visual & Acoustic Isolation.
- 13** Restored Public Lobby & Historic Mural.

### Legend

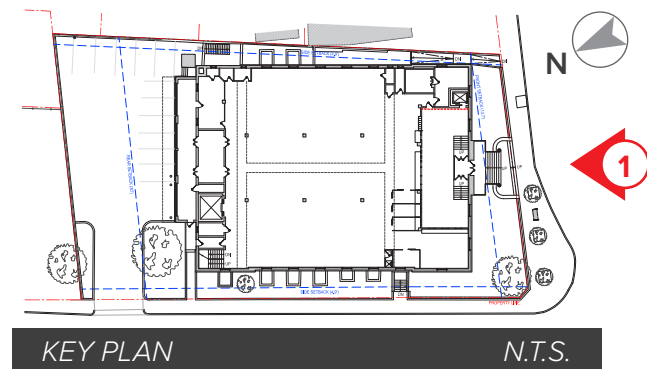


### Graphic Scale



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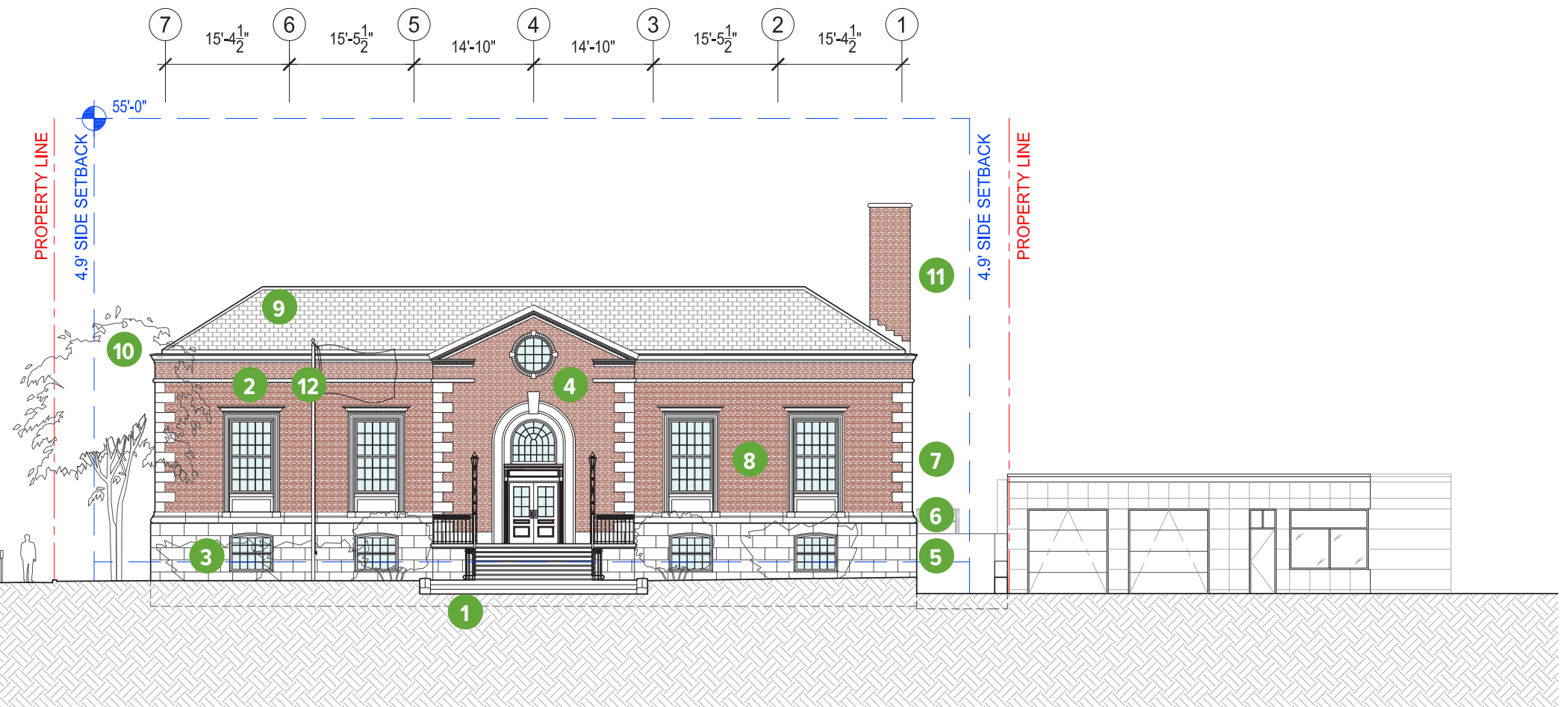




78.83'  
MAX. BLDG. HT.

57.95'  
T.O. ROOF  
46.40'  
T.O. ATTIC  
45.33'  
B.O. CLG.  
39.33'  
T.O. MEZZANINE  
29.33'  
T.O. 1ST FL.  
23.83'  
AVE. EXT. GRAD.  
18.33'  
T.O. BASEMENT

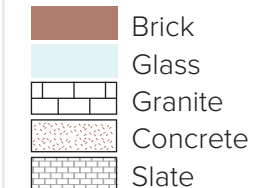
BONNER AVENUE  
(PUBLIC - 40' WIDE)



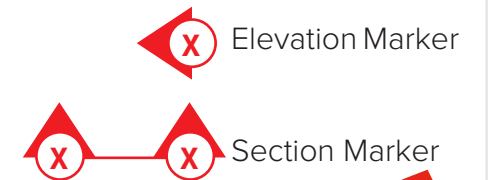
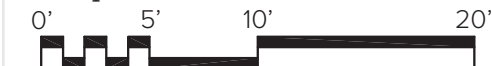
## 1 - Existing South Elevation

- 1 Existing Primary Entry; Granite Steps w/ Bronze Railings & Lamp Posts.
- 2 Existing Wood Frame, Double-Hung Windows Into 1st Floor Public Lobby.
- 3 Existing Wood Frame, Double-Hung Windows Into Basement.
- 4 Existing Wood Frame Oculus Window Into Unfinished Attic.
- 5 Existing Convex Cushion-Profiled Limestone Clad Foundation Wall.
- 6 Existing Limestone Water Table.
- 7 Existing Limestone Quoining Accents.
- 8 Existing Flemish Bond, Red Brick Facade, w/ Concave Tooled, Light Gray Mortar Joints.
- 9 Existing Hipped Roof w/ Slate Shingles; Flat Rubber Roof Beyond.
- 10 Existing Stone Cornice w/ Integrated Copper Gutters.
- 11 Existing Brick Chimney, Beyond.
- 12 Existing Flag Pole.

### Legend

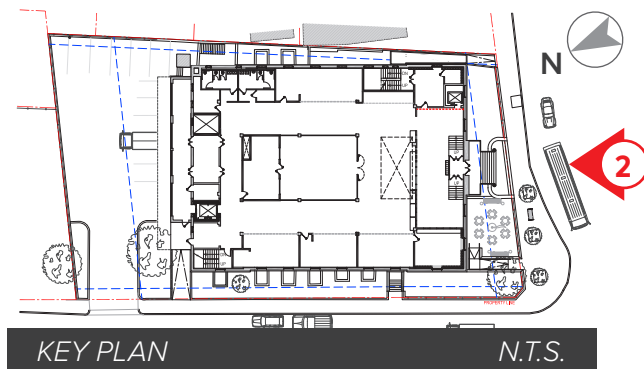


### Graphic Scale



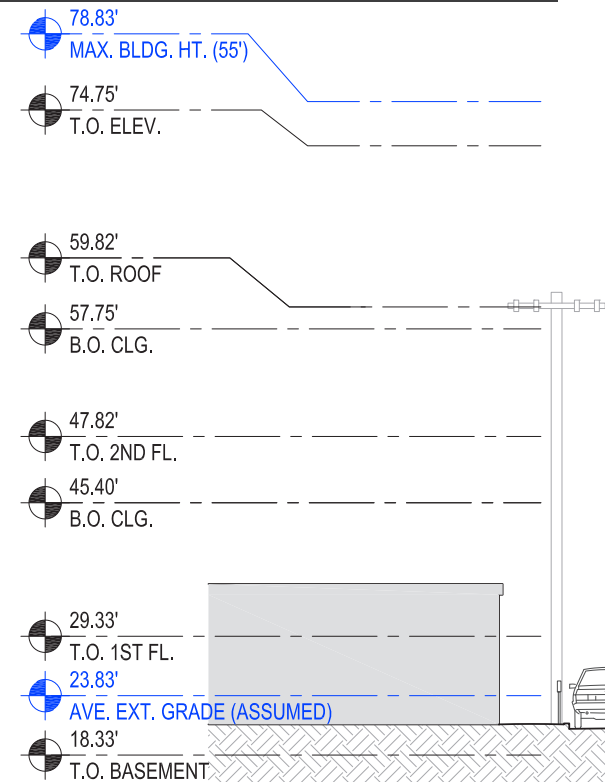
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04 DECEMBER 2015



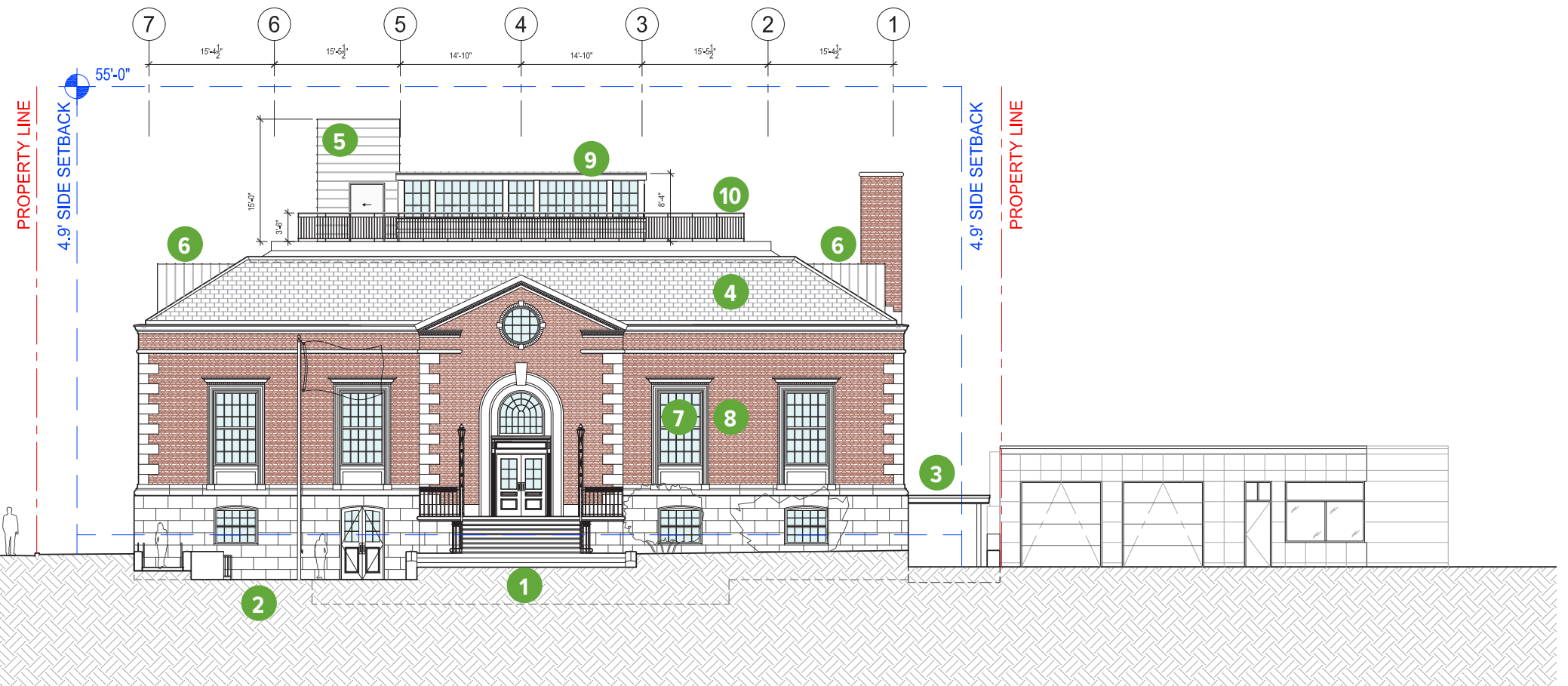


KEY PLAN

N.T.S.



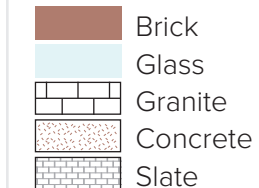
BONNER AVENUE  
(PUBLIC - 40' WIDE)



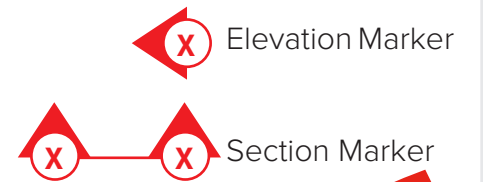
## 2 - Proposed South Elevation

- 1 Restored Main Entry To Public Lobby; Including Granite Steps, Bronze Railings & Lamp Posts, Etc.
- 2 New Sunken Patio & New Accessible Entry & Ramp To Basement From Sidewalk. Existing Flag Pole to Remain.
- 3 New Canopy Over East Accessible Entry & Ramp To Basement.
- 4 Restore Hipped Slate Shingle Roof, As Required.
- 5 New Elevator Shaft Beyond.
- 6 New Metal Roof Dormers Along East & West Facades.
- 7 Existing Windows to Receive Interior Storm for Thermal Insulation.
- 8 Existing Exterior Facade, Including Brick, Limestone, Wood Molding, Granite etc. To Be Restored (Repaired, Cleaned, Repointed As Required).
- 9 New Stair Headhouse, to Match Detailing of Original Lightwell Lanterns.
- 10 New Rooftop Perimeter Guardrail.

### Legend

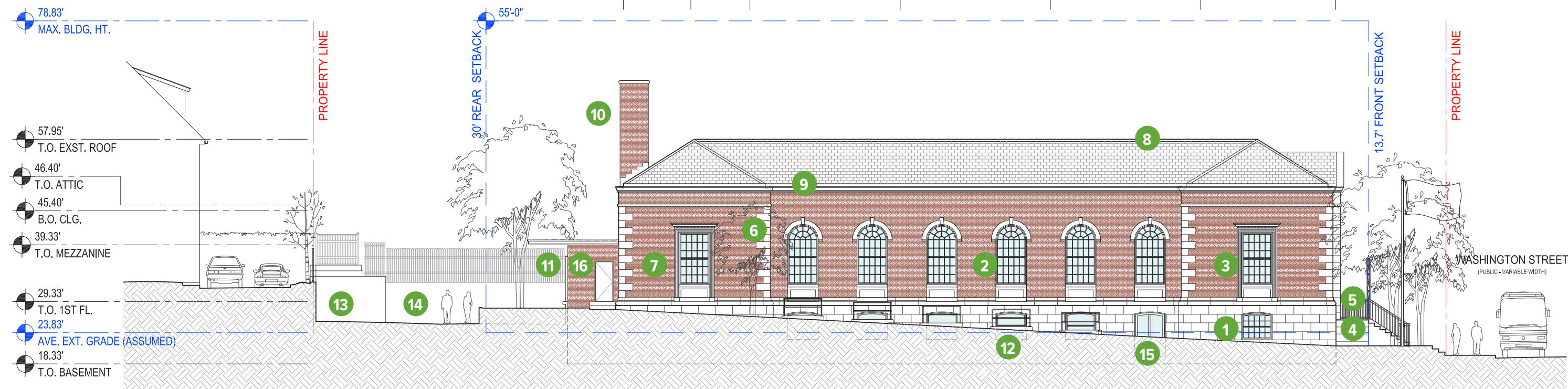
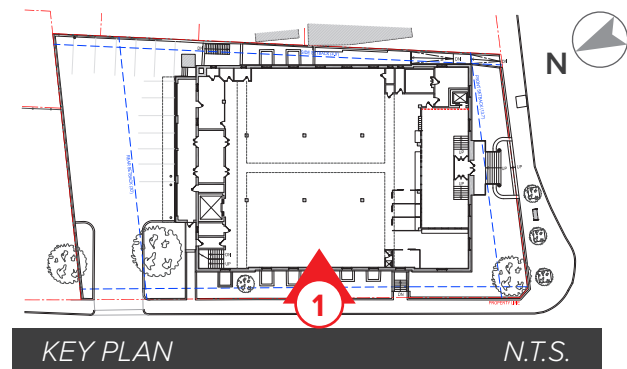


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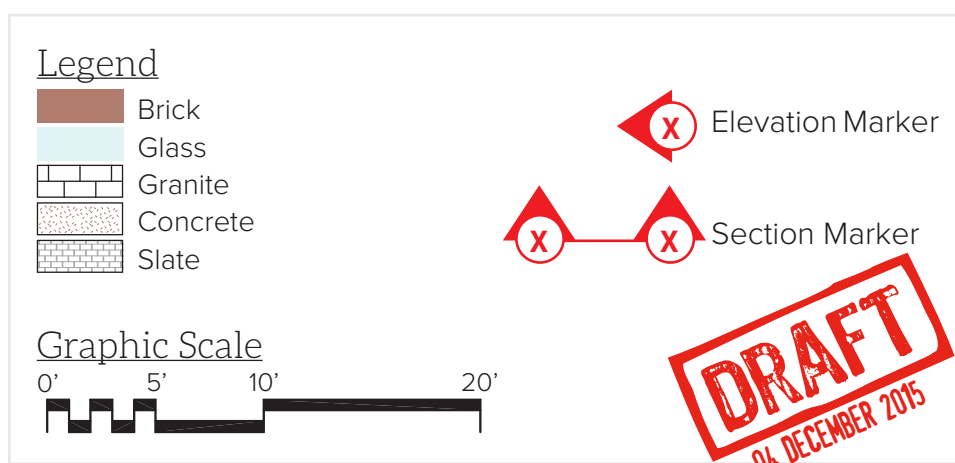
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04 DECEMBER 2015



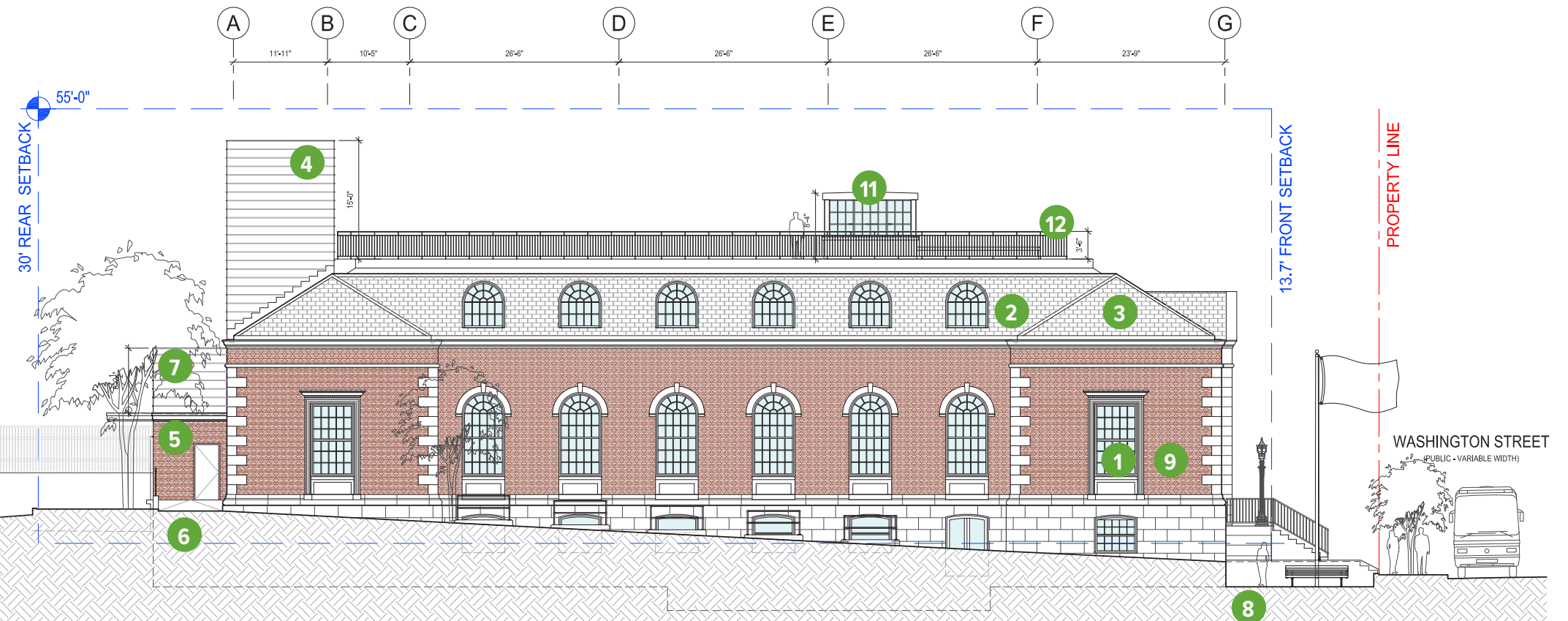
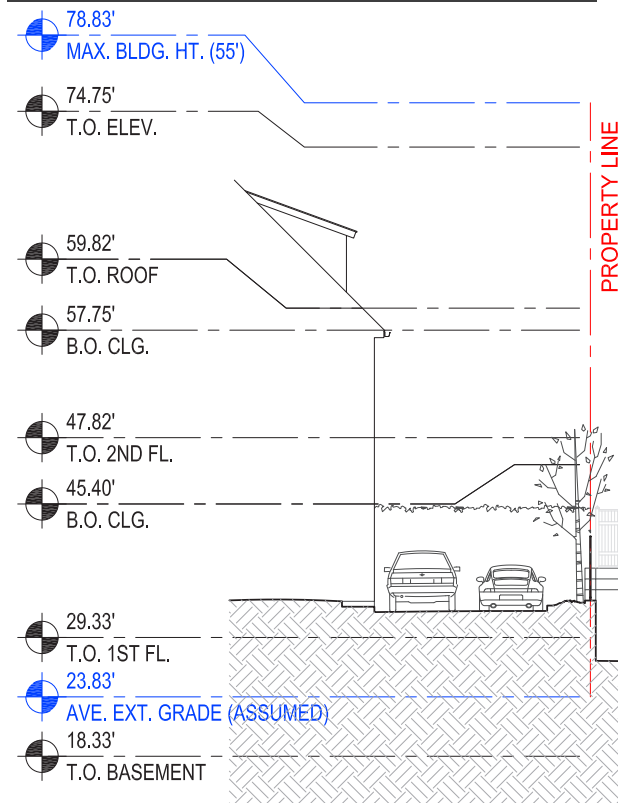
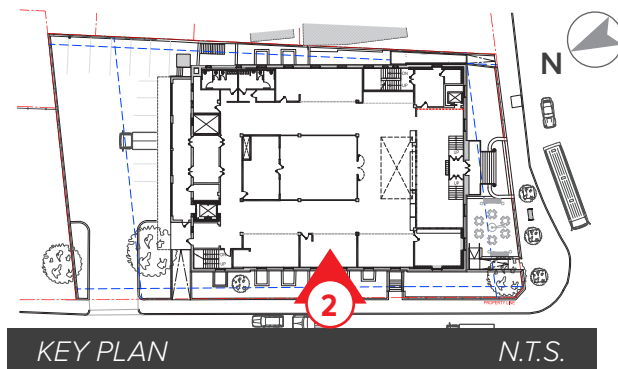


## 1 - Existing West Elevation

- 1 Existing Wood Frame, Double-Hung Windows Into Basement.
- 2 Windows w/ Half-Round Transom Into 1st Floor.
- 3 Existing Wood Frame, Double-Hung Windows into 1st Floor.
- 4 Existing Convex Cushion-Profiled Limestone Clad Foundation Wall.
- 5 Existing Limestone Water Table.
- 6 Existing Limestone Quoining Accents.
- 7 Existing Flemish Bond, Red Brick Facade, w/ Concave Tooled, Light Gray Mortar Joints.
- 8 Existing Hipped Roof w/ Slate Shingles; Flat Rubber Roof Beyond.
- 9 Existing Stone Cornice w/ Integrated Copper Gutters.
- 10 Existing Brick Chimney, Beyond.
- 11 Existing 4-Bay, Enclosed Loading Dock Beyond.
- 12 Existing Light Wells At Double Hung Windows into Basement.
- 13 Existing Concrete Retaining Walls.
- 14 Existing Parking Lot.
- 15 Existing West Entry To Basement.
- 16 Existing West Entry Into Loading Dock & 1st Floor.





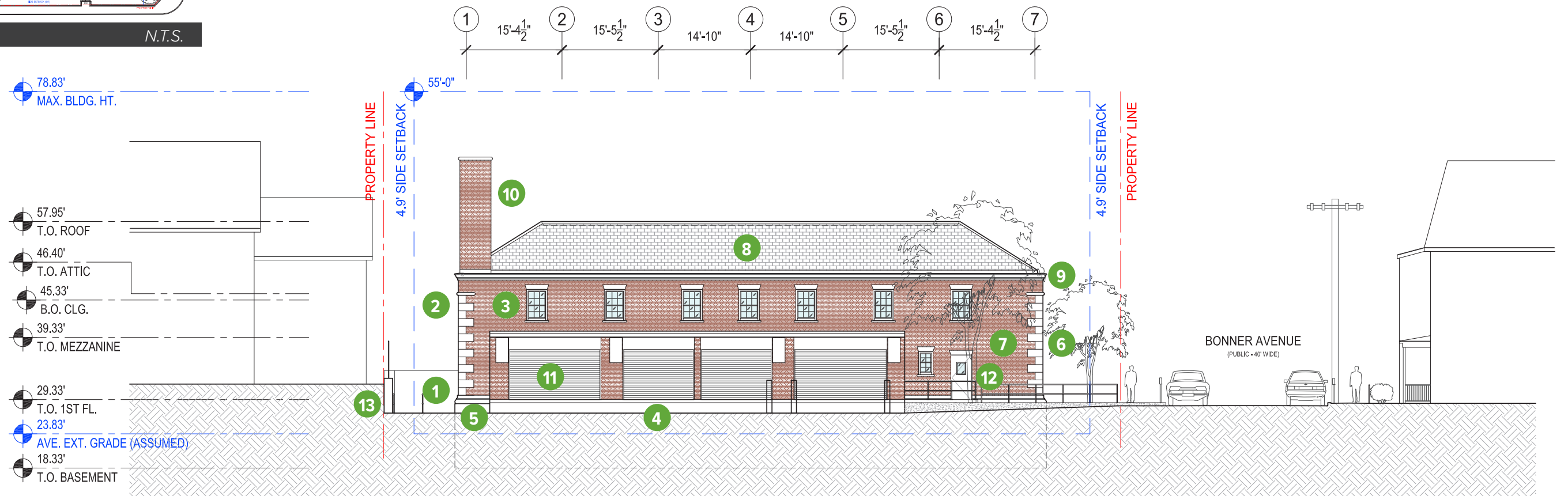
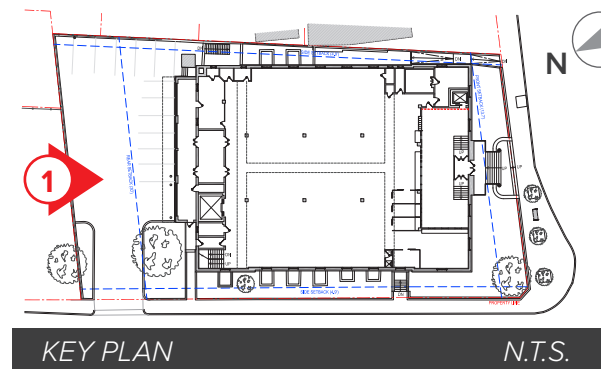


## 2 - Proposed West Elevation

- 1 Existing Windows to Receive Interior Storm for Thermal Insulation.
- 2 New Metal Roof Dormers in Existing Roof Along East & West Facades.
- 3 Restored Hipped Slate Shingled Roof, As Required.
- 4 New Elevator Shaft Beyond; New Elevator Provides Access From Basement Through Roof.
- 5 New Roof Canopy Over New Accessible North Entry To 1st Floor Aligns w/ Existing Loading Dock Roof.
- 6 New 1:20 Ramp At North Entry Provides Accessible Access To 1st Floor; Handrails Not Required.
- 7 New Screened Mechanical Zone Addition Above Loading Dock.
- 8 New Sunken Patio & New Accessible Entry & Ramp To Basement From Sidewalk. Existing Flag Pole to Remain.
- 9 Existing Exterior Facade, Including Brick, Limestone, Wood Molding, Granite etc. To Be Restored (Repaired, Cleaned, Repointed As Required).
- 10 Existing Parking Lot, Restore As Required.
- 11 New Stair Headhouse, to Match Detailing of Original Lightwell Lanterns.
- 12 New Rooftop Perimeter Guardrail







# 1 - Existing North Elevation

- 1 Existing Concrete Stairs From Parking Lot to Mechanical Rooms in Basement.
- 2 Existing Metal Fire Escape From Mezzanine to Parking Lot.
- 3 Existing Wood Frame, Double-Hung Windows Into Mezzanine Level.
- 4 Existing Concrete Foundation Wall.
- 5 Existing Limestone Water Table.
- 6 Existing Limestone Quoining Accents.
- 7 Existing Flemish Bond, Red Brick Facade, w/ Concave Tooled, Light Gray Mortar Joints.
- 8 Existing Hipped Slate Shingle Roof; Flat Rubber Roof Beyond.
- 9 Existing Stone Cornice w/ Integrated Copper Gutters.
- 10 Existing Brick Chimney.
- 11 Existing 4-Bay, Enclosed Loading Dock With Overhead Doors.
- 12 Existing North Entry To 1st Floor.
- 13 Existing Concrete Retaining Walls.

Legend

- Brick
- Glass
- Granite
- Concrete
- Slate

Elevation Marker

Section Marker

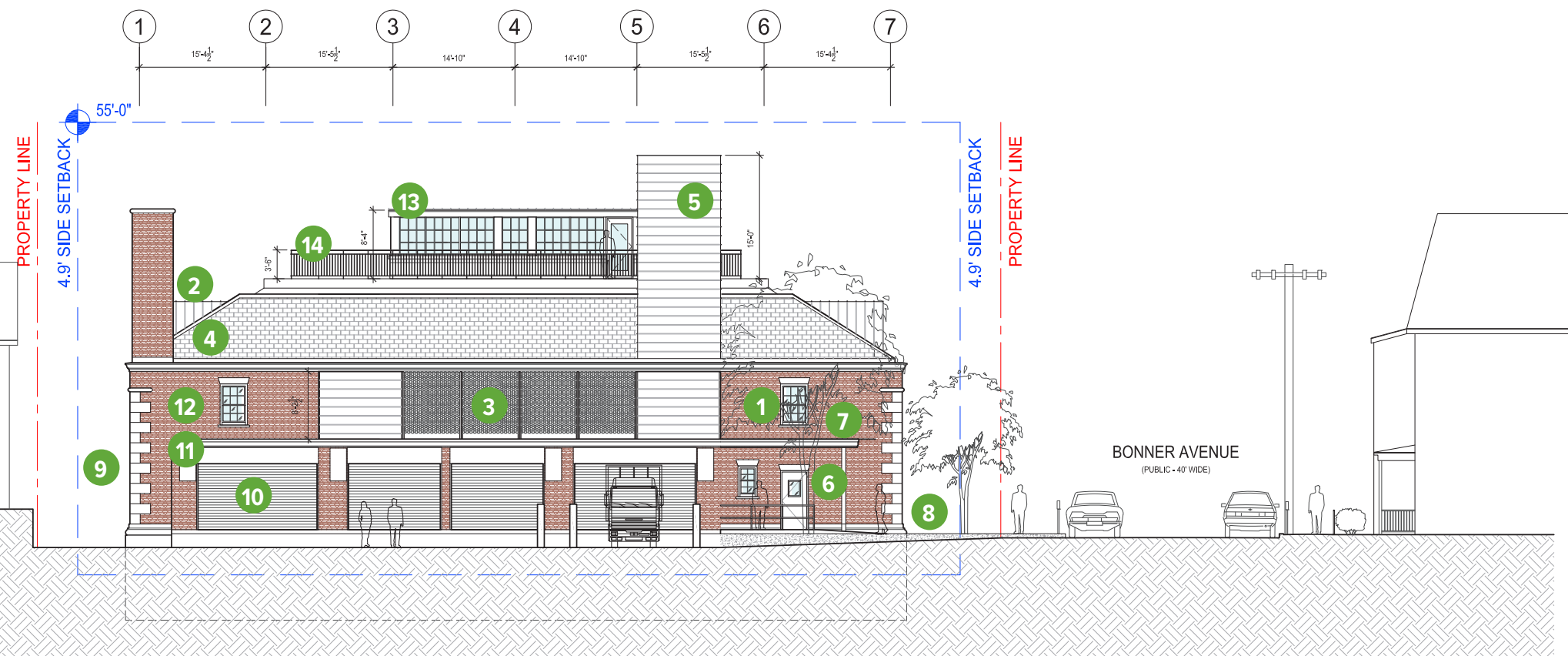
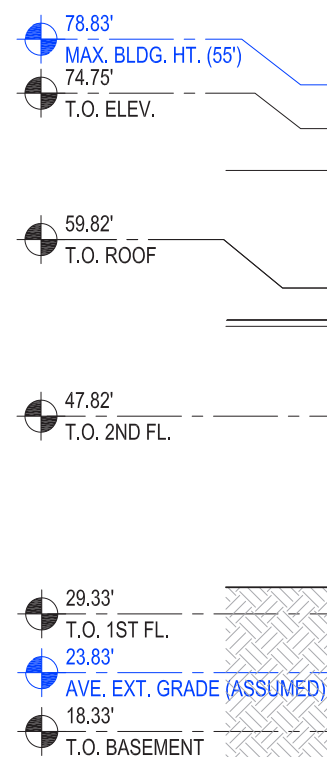
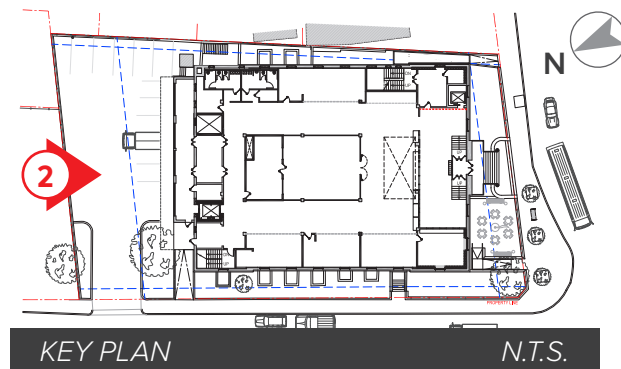
Graphic Scale

0' 5' 10' 20'

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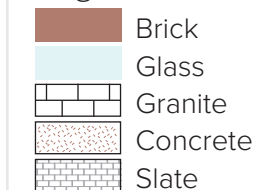




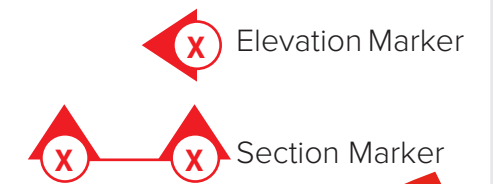
## 2 - Proposed North Elevation

- 1 Existing Windows to Receive Interior Storm for Thermal Insulation.
- 2 New Metal Roof Dormers in Existing Roof Along East & West Facades.
- 3 New Mechanical Zone Addition Above Loading Dock; with Metal Screen for Visual & Acoustic Isolation.
- 4 Restore Existing Hipped Slate Shingle Roof, As Required.
- 5 New Passenger Elevator Shaft; Providing Access From Basement to Roof.
- 6 New Door Provided At North Accessible Entry Into 1st Floor.
- 7 New Roof Canopy Over New Accessible North Entry, To 1st Floor, Aligns w/ Existing Loading Dock Roof.
- 8 New 1:20 Ramp From Sidewalk To North Entry Provides Accessible Access To 1st Floor; Handrails Not Required.
- 9 Existing Metal Fire Escape Removed; No Longer Required.
- 10 New Overhead Coiling Loading Dock Doors.
- 11 Reinforce Loading Dock Roof, As Required, To Support Mechanical Requirements Above.
- 12 Existing Exterior Facade, Including Brick, Limestone, Wood Molding, Granite etc. To Be Restored (Repaired, Cleaned, Repointed As Required).
- 13 New Stair Headhouse, to Match Detailing of Original Lightwell Lanterns.
- 14 New Rooftop Perimeter Guardrail.

### Legend

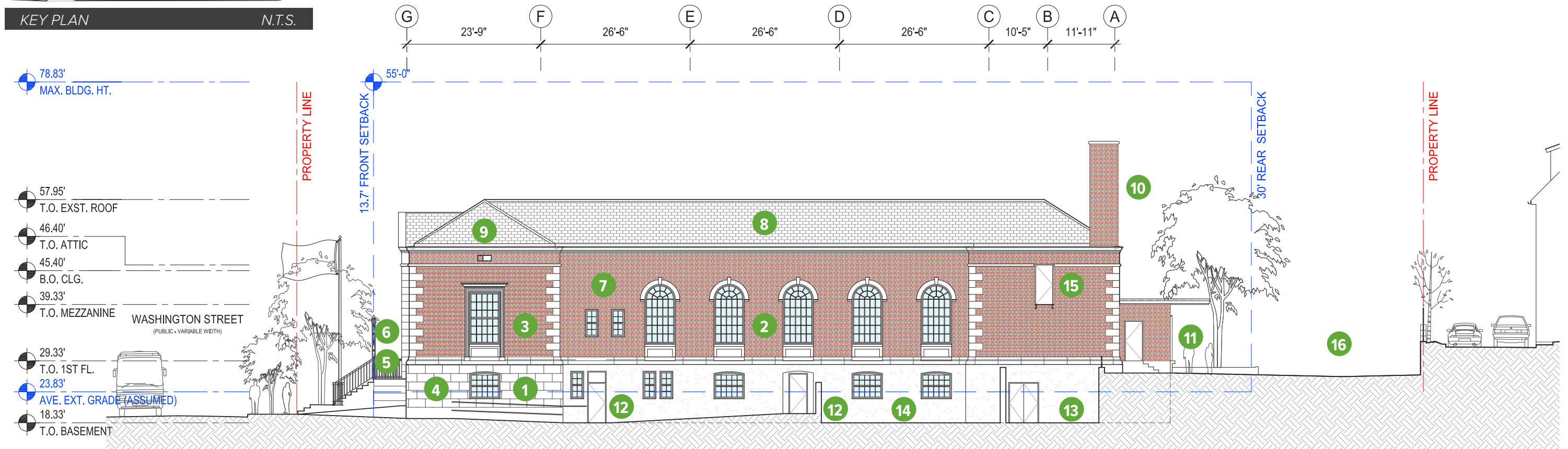
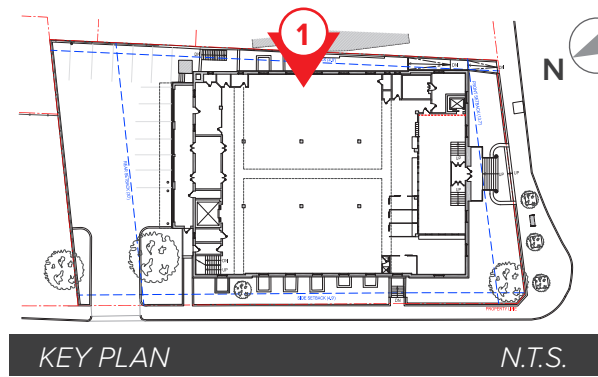


### Graphic Scale



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# 1 - Existing East Elevation

- 1 Existing Wood Frame, Double-Hung Windows Into Basement
- 2 Existing Wood Frame, Double-Hung Windows w/ Half-Round Transom Into 1st Floor
- 3 Wood Frame, Double-Hung Windows Into 1st Floor
- 4 Existing Convex Cushion-Profiled Limestone Clad Foundation Wall
- 5 Existing Limestone Water Table
- 6 Existing Limestone Quoining Accents
- 7 Existing Flemish Bond, Red Brick Facade, w/ Concave Tooled, Light Gray Mortar Joints
- 8 Existing Hipped Slate Shingle Roof; Flat Rubber Roof Beyond
- 9 Existing Stone Cornice w/ Integrated Copper Gutters
- 10 Existing Brick Chimney
- 11 4-Bay, Enclosed Loading Dock Beyond
- 12 Egress Door From Basement
- 13 Existing Concrete Stairs & Egress Door to Mechanical Rooms in Basement
- 14 Existing Concrete Foundation Wall
- 15 Existing Metal Fire Escape & Egress Door From Mezzanine to Parking Lot
- 16 Existing Parking Lot

## Legend

- Brick
- Glass
- Granite
- Concrete
- Slate

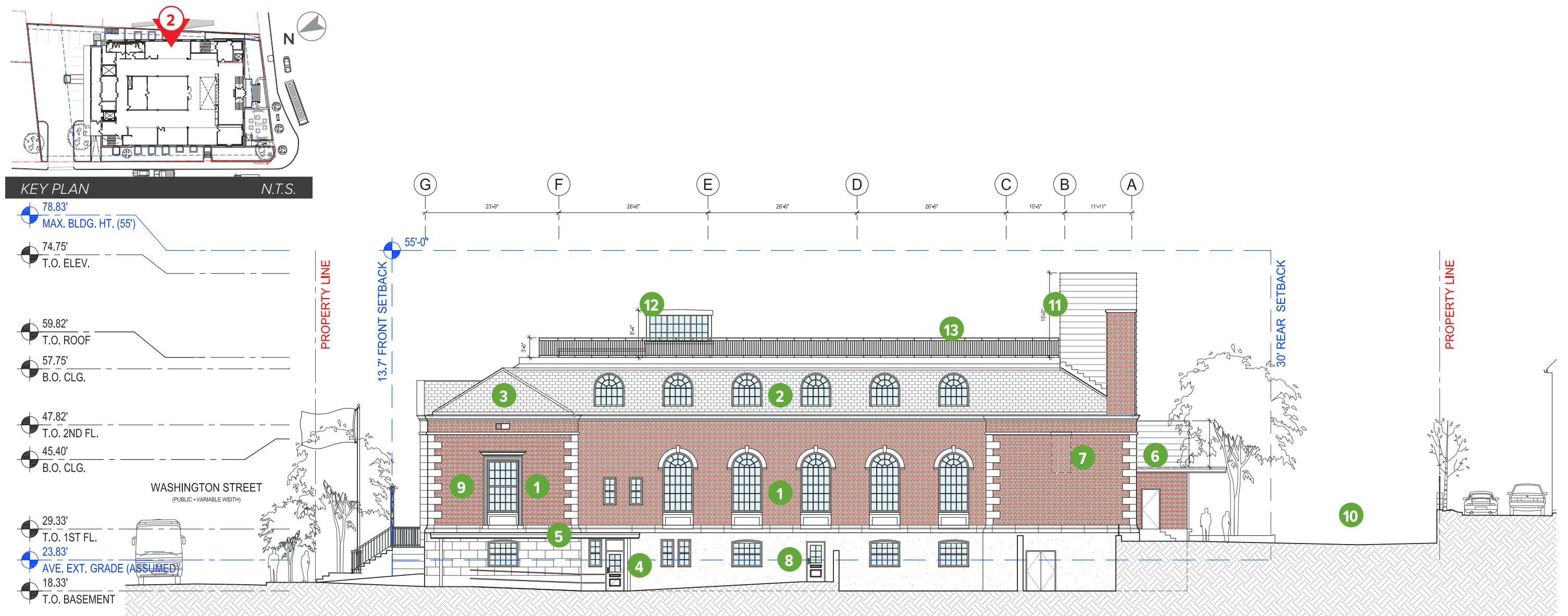
## Graphic Scale



- Elevation Marker
- Section Marker

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04 DECEMBER 2015





## 2 - Proposed East Elevation

- 1 Existing Windows to Receive Interior Storm for Thermal Insulation.
- 2 New Metal Roof Dormers in Existing Roof Along East & West Facades.
- 3 Restore Slate Roof, As Required.
- 4 New Accessible Basement Entry Door.
- 5 New Canopy Over New Accessible Entry At Basement Level.
- 6 New Mechanical Zone Addition Above Loading Dock; Screened for Visual & Accoustic Isolation.
- 7 Existing Egress Door & Fire Escape Removed; Brick Infill To Match Adjacent.
- 8 New Egress Door at Basement To Replace Existing Door.
- 9 Existing Exterior Facade, Including Brick, Limestone, Wood Molding, Granite etc. To Be Restored (Repaired, Cleaned, Repointed As Required).
- 10 Existing Parking Lot, Restored As Required
- 11 New Passenger Elevator Shaft; Providing Access From Basement to Roof.
- 12 New Stair Headhouse, to Match Detailing of Original Lightwell Lanterns.
- 13 New Rooftop Perimeter Guardrail.





Existing Exterior Render:





Proposed Exterior Render:





